

SHIRE
of
DANDARAGAN

MINUTES - PUBLIC

of the

ORDINARY COUNCIL MEETING

held at the

JURIEN BAY CIVIC CENTRE BOARDROOM

on

THURSDAY 23 MAY 2024

COMMENCING AT 4.00PM

THESE MINUTES ARE YET TO BE CONFIRMED

(THIS DOCUMENT IS AVAILABLE IN LARGER PRINT ON REQUEST)

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MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024
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1 DECLARATION OF OPENING / ANNOUNCEMENT OF VISITORS

1.1 DECLARATION OF OPENING

The Shire President declared the meeting open at 4.00pm and welcomed those present.

"I would like to acknowledge the traditional owners of the land we are meeting on today, the Yued people of the great Nyungar Nation and we pay our respects to Elders both past, present and emerging."

1.2 DISCLAIMER READING

The disclaimer was read aloud as there were 4 members of the public present.

"No responsibility whatsoever is implied or accepted by the Shire of Dandaragan for any act, omission, statement or intimation occurring during this meeting."

It is strongly advised that persons do not act on what is heard, and should only rely on written confirmation of Council's decision, which will be provided within fourteen days."

2 RECORD OF ATTENDANCE / APOLOGIES / APPROVED LEAVE OF ABSENCE

Members

Councillor T O’Gorman	(President)
Councillor M McDonald	(Deputy President)
Councillor J Clarke	
Councillor W Gibson	
Councillor R Glasfurd	
Councillor S Young	
Councillor G Lethlean	

Staff

Mr B Bailey	(Chief Executive Officer)
Mr L Fouché	(Executive Manager Development Services)
Mr B Pepper	(Executive Manager Infrastructure)
Mr B Waters	(Executive Manager Corporate & Community Services)
Mrs N Winsloe	(Executive Secretary)
Mr R Mackay	(Principal Planning & Building Officer)
Ms T Slee	(Manager Economic Development)

Apologies

Nil

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024**Approved Leave of Absence**

Cr McDonald advised she will no longer be taking a leave of absence for the June Council Meeting which was previously approved by Councillors.

Observers

There were 4 members of the public present.

3 RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil

4 PUBLIC QUESTION TIME

Nil

5 APPLICATIONS FOR LEAVE OF ABSENCE

Nil

6 CONFIRMATION OF MINUTES**6.1 MINUTES OF THE ORDINARY COUNCIL MEETING HELD 24 APRIL 2024****COUNCIL DECISION**

Moved Cr McDonald, seconded Cr Clarke

That the minutes of the Ordinary Meeting of Council held 24 April 2024 be confirmed.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

7 NOTICES AND ANNOUNCEMENTS BY PRESIDING MEMBER WITHOUT DISCUSSION

Nil

8 PETITIONS / DEPUTATIONS / PRESENTATIONS / SUBMISSIONS

Nil

9 REPORTS OF COMMITTEES AND OFFICERS

9.1 CORPORATE & COMMUNITY SERVICES

9.1.1 FINANCIAL STATEMENTS – MONTHLY REPORTING FOR THE PERIOD ENDING 31 March 2024

Location:	Shire of Dandaragan
Applicant:	N/A
Folder Path:	Doc Id: SODR-2042075298-81257
Disclosure of Interest:	None
Date:	14 May 2024
Author:	Rebecca Pink, Accountant
Senior Officer:	Brad Waters, Executive Manager Corporate and Community

PROPOSAL

To table the monthly financial statements for the period ending 31 March 2024 for adoption by Council.

BACKGROUND

In accordance with the Local Government Act 1995 and Financial Management Regulations (1996), monthly financial statements are required to be presented to Council. Circulated are the monthly financial statements for the period ending 31 March 2024.

COMMENT

Regulation 34 of the Financial Management Regulations (1996) requires the following information to be provided to Council:

1. Net Current Assets

Council's adjusted net current assets surplus / (deficit) position as at the 31 March 2024 was \$535,943. Net current Asset are calculated by deducting current liabilities from current assets as reported in the Statement of Financial Position. In accordance with regulation 34 of the Local Government Financial Management Regulations (1996) the net current assets are adjusted to establish a surplus / (deficit) position within the monthly financial statements. The current position indicates that Council can easily meet its short-term liquidity or solvency.

The adjusted net current assets position is reflected on page 5 and reconciled with the Statement of Financial Position on page 3 of the financial statements.

The amount raised from rates, shown on the Statement of Financial Activity (page 2), reconciles with note 8 (page 16) of the financial statements and provides information to Council on the budget vs actual rates raised.

2. Material Variances

During budget adoption a 10 percent and \$10,000 threshold for these variances to be reported was set.

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

Note 3 (page 6) of the attached report details any significant variances.

Should Councillors wish to raise any issues relating to the 31 March 2024 financial statements, please do not hesitate to contact the Accountant prior to the Council Meeting in order that research can be undertaken and details provided either at the time of the query or at the meeting.

CONSULTATION

- Chief Executive Officer

STATUTORY ENVIRONMENT

- Regulation 34 of the Local Government Financial Management Regulations (1996)

POLICY IMPLICATIONS

There are no policy implications relevant to this item.

FINANCIAL IMPLICATIONS

There are no adverse trends to report at this time.

STRATEGIC IMPLICATIONS

There are no strategic implications relevant to this item.

ATTACHMENTS

Circulated with the agenda is the following item relevant to this report:

- Financial statements for the period ending 31 March 2024 (Doc Id: SODR-2042075298-81257)
(Marked 9.1.1)

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Gibson, seconded Cr Clarke

That the monthly financial statements for the period 31 March 2024 be received.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.1.2 ACCOUNTS FOR PAYMENT FOR THE PERIOD ENDED 31 MARCH 2024

Location:	Shire of Dandaragan
Applicant:	N/A
Folder Path:	Doc Id: SODR-2042075298-81267
Disclosure of Interest:	None
Date:	14 May 2024
Author:	Rebecca Pink, Accountant
Senior Officer:	Brad Waters, Executive Manager Corporate and Community

PROPOSAL

To accept the Cheque, EFT, BPAY, Direct Debit and Fuel Card listing for the month of March 2024.

BACKGROUND

In accordance with the Local Government Act 1995, and Financial Management Regulations 1996, a list of expenditure payments is required to be presented to Council.

COMMENT

The Cheque, EFT, BPAY and Direct Debit (including fuel cards) payments for March 2024 totalled **\$1,662,654.11** for the Municipal Fund.

Should Councillors wish to raise any issues relating to the February 2024 Accounts for payment, please do not hesitate to contact the Accountant prior to the Council Meeting, in order that research can be undertaken, and details provided either at the time of the query or at the meeting.

CONSULTATION

Accountant

STATUTORY ENVIRONMENT

Regulation 13 of the Local Government Financial Management Regulations 1997.

POLICY IMPLICATIONS

There are no policy implications relevant to this item.

FINANCIAL IMPLICATIONS

There are no adverse trends to report currently.

STRATEGIC IMPLICATIONS

There are no strategic implications relevant to this item.

ATTACHMENTS

Circulated with the agenda are the following items relevant to this report:

Cheque, EFT, BPAY, Direct Debit and Fuel Card listings for March 2024 (Doc Id: SODR-2042075298-81267)

(Marked 9.1.2)

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr McDonald, seconded Cr Gibson

That the Cheque, EFT, BPAY, Direct Debit and Fuel Card payment listing for the period ending 29 March 2024 totalling \$1,662,654.11 be received.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.1.3 FINANCIAL STATEMENTS – MONTHLY REPORTING FOR THE PERIOD ENDING 30 APRIL 2024

Location:	Shire of Dandaragan
Applicant:	N/A
Folder Path:	Doc Id: SODR-2042075298-81266
Disclosure of Interest:	None
Date:	14 May 2024
Author:	Rebecca Pink, Accountant
Senior Officer:	Brad Waters, Executive Manager Corporate and Community

PROPOSAL

To table the monthly financial statements for the period ending 30 April 2024 for adoption by Council.

BACKGROUND

In accordance with the Local Government Act 1995 and Financial Management Regulations (1996), monthly financial statements are required to be presented to Council. Circulated are the monthly financial statements for the period ending 30 April 2024.

COMMENT

Regulation 34 of the Financial Management Regulations (1996) requires the following information to be provided to Council:

1. Net Current Assets

Council's adjusted net current assets surplus / (deficit) position as at the 30 April 2024 was (\$516,179). Net current Asset are calculated by deducting current liabilities from current assets as reported in the Statement of Financial Position. In accordance

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

with regulation 34 of the Local Government Financial Management Regulations (1996) the net current assets are adjusted to establish a surplus / (deficit) position within the monthly financial statements. The current position indicates that Council can easily meet its short-term liquidity or solvency.

The adjusted net current assets position is reflected on page 5 and reconciled with the Statement of Financial Position on page 3 of the financial statements.

The amount raised from rates, shown on the Statement of Financial Activity (page 2), reconciles with note 8 (page 16) of the financial statements and provides information to Council on the budget vs actual rates raised.

2. Material Variances

During budget adoption a 10 percent and \$10,000 threshold for these variances to be reported was set.

Note 3 (page 6) of the attached report details any significant variances.

Should Councillors wish to raise any issues relating to the 30 April 2024 financial statements, please do not hesitate to contact the Accountant prior to the Council Meeting in order that research can be undertaken and details provided either at the time of the query or at the meeting.

CONSULTATION

- Chief Executive Officer

STATUTORY ENVIRONMENT

- Regulation 34 of the Local Government Financial Management Regulations (1996)

POLICY IMPLICATIONS

There are no policy implications relevant to this item.

FINANCIAL IMPLICATIONS

There are no adverse trends to report at this time.

STRATEGIC IMPLICATIONS

There are no strategic implications relevant to this item.

ATTACHMENTS

Circulated with the agenda is the following item relevant to this report:

- Financial statements for the period ending 30 April 2024 (Doc Id: SODR-2042075298-81266)

(Marked 9.1.3)

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Glasfurd, seconded Cr Lethlean

That the monthly financial statements for the period 30 April 2024 be received.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.1.4 ACCOUNTS FOR PAYMENT FOR THE PERIOD ENDED 30 APRIL 2024

Location:	Shire of Dandaragan
Applicant:	N/A
Folder Path:	Doc Id: SODR-2042075298-81312
Disclosure of Interest:	None
Date:	14 May 2024
Author:	Rebecca Pink, Accountant
Senior Officer:	Brad Waters, Executive Manager Corporate and Community

PROPOSAL

To accept the Cheque, EFT, BPAY, Direct Debit and Fuel Card listing for the month of April 2024.

BACKGROUND

In accordance with the Local Government Act 1995, and Financial Management Regulations 1996, a list of expenditure payments is required to be presented to Council.

COMMENT

The Cheque, EFT, BPAY and Direct Debit (including fuel cards) payments for April 2024 totalled **\$1,815,309.45** for the Municipal Fund.

Should Councillors wish to raise any issues relating to the February 2024 Accounts for payment, please do not hesitate to contact the Accountant prior to the Council Meeting, in order that research can be undertaken, and details provided either at the time of the query or at the meeting.

CONSULTATION

Accountant

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024
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STATUTORY ENVIRONMENT

Regulation 13 of the Local Government Financial Management Regulations 1997.

POLICY IMPLICATIONS

There are no policy implications relevant to this item.

FINANCIAL IMPLICATIONS

There are no adverse trends to report currently.

STRATEGIC IMPLICATIONS

There are no strategic implications relevant to this item.

ATTACHMENTS

Circulated with the agenda are the following items relevant to this report:

- Cheque, EFT, BPAY, Direct Debit and Fuel Card listings for April 2024 (Doc Id: SODR-2042075298-81312)
(Marked 9.1.4)

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr McDonald, seconded Cr Clarke

That the Cheque, EFT, BPAY, Direct Debit and Fuel Card payment listing for the period ending 30 April 2024 totalling \$1,815,309.45 be received.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.2 INFRASTRUCTURE SERVICES

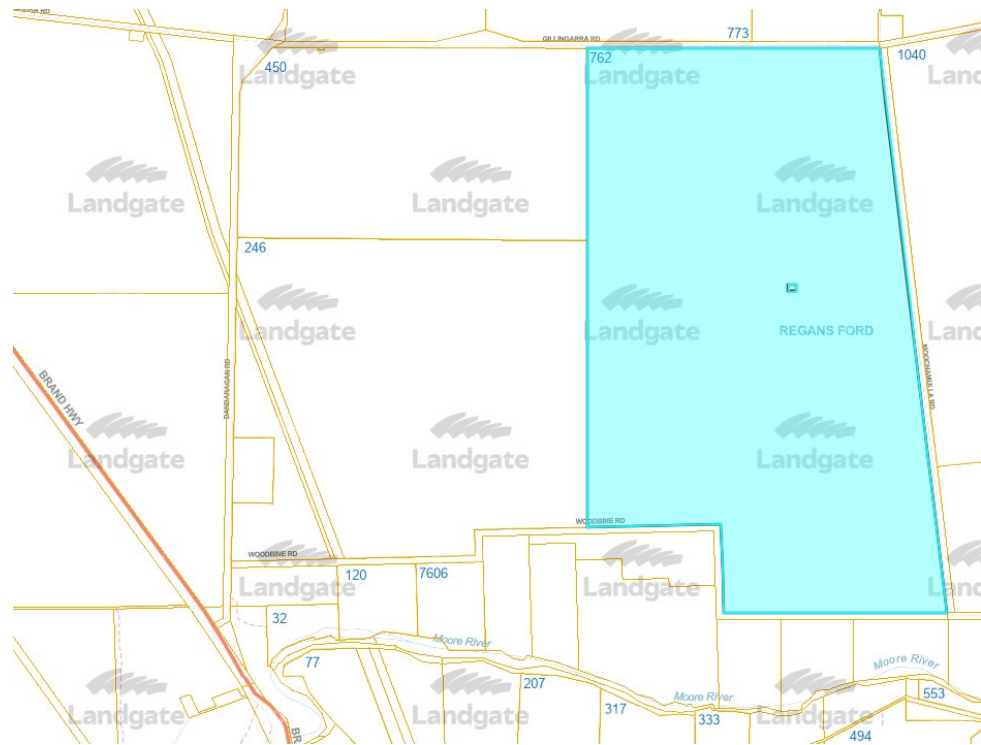
9.3 DEVELOPMENT SERVICES

9.3.1 PROPOSED METEOROLOGICAL MAST - LOT 3577 (NO. 762) GILLINGARRA ROAD, REGANS FORD

Location:	Lot 3577 (No. 762) Gillingarra Road, Regans Ford
Applicant:	Alinta Energy Development Pty Ltd
Landowner:	Brian Henning
File Path:	SODR-1262144384-22637
Disclosure of Interest:	Nil
Date:	29 April 2024
Author:	Rory Mackay, Principal Planning & Building Officer
Senior Officer:	Louis Fouché, Executive Manager Development Services

PROPOSAL

The purpose of this report is for Council to consider granting development approval for the erection of a 120m tall meteorological mast (met mast) on Lot 3577 (No.762) Gillingarra Road, Regans Ford. A determination whether the proposed development is consistent with the objectives of the 'Rural' zone, is required in the first instance.



Location Plan - Lot 3577 (No.762) Gillingarra Road, Regans Ford

BACKGROUND

The proponent is proposing to install a 120m tall met mast to undertake climatic monitoring to determine the suitability of the locality for siting of a future wind farm to be known as Dandaragan Wind Farm. The development of this future wind farm is dependent on pre-feasibility studies and approvals that are separate to this subject development application.

The proposed development as shown in the attached plans will consist of a 120m steel primary met mast structure with an associated guy-fixing system and wind measuring system consisting of six anemometers, two wind vanes and boom arms. The met mast will occupy 0.02 ha of the 1,260.45 ha property.

The proposed location of the development is indicative and will be confirmed prior to erection based on site geotechnical investigations. Nonetheless, the development will avoid any clearing of native vegetation and access to the met mast site will be via existing internal access tracks within the property.

Following completion of meteorological monitoring, the met mast may be decommissioned and removed from the subject site,

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

allowing for an alternative land use if the area is not deemed suitable for generating wind power.

COMMENT

With reference to the use-not-listed provisions of the Shire's *Local Planning Scheme No.7* (Scheme) listed in the Statutory Environment section of this report, Council first needs to determine that the proposed development of a 'meteorological mast' is compatible with the 'Rural' zoning of the subject property before determining the development application.

The proposed met mast development is supported for the following reasons:

- The development will have minimal impact on the visual amenity of the locality and will not be clearly visible from surrounding properties due to the minimal structural elements of the met mast.
- The development requires no vegetation clearing and has little to none conflict with the established agriculture land use of the property.
- The development will not be in close proximity to existing sensitive land uses (homesteads) which do not form part of the future wind farm proposal.
- Any traffic impacts associated with construction will be of short-term duration (nine days) and are not anticipated to have a significant adverse impact on the surrounding road network. In the unlikely event that a road closure would be required, the proponent would request permission from the relevant authorities.
- The met mast will not be manned during operation, with minimal property access required to conduct routine maintenance.
- The development is considered to be compatible with the existing principal broadacre farming (agriculture – extensive) land use for the site and compatible with the objective of the Rural Zone.
- The Civil Aviation and Safety Authority will be notified of the proposed construction as required under Part 139 of the *Civil Aviation and Safety Regulations 1998*.

Given the above, it is recommended that Council applies the relevant discretion by granting conditional development approval for the proposal.

CONSULTATION

As no owners or occupiers of properties were identified in the vicinity of the development who are likely to be negatively affected by the granting of development approval, no consultation was undertaken.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 7:

As this proposed land use class is not listed within the Zoning Table of the Scheme, the use-not-listed provisions of the Scheme apply:

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

3.4.2. *If a person proposes to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may —*

- a. *determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- b. *determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 64 of the deemed provisions in considering an application for development approval; or*
- c. *determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.*

The Scheme objective for the Rural zone of which the subject property is zoned is:

To provide for a range of rural activities such as broadacre and diversified farming so as to retain the rural character and amenity of the locality, in such a way as to prevent land degradation and further loss of biodiversity.

POLICY IMPLICATIONS

Western Australian Planning Commission – Position Statement
Renewable Energy Facilities:

The local planning framework, principally administered by local government, can effectively manage the development assessment of renewable energy facilities...

Renewable energy facility means premises used to generate energy from a renewable energy source and includes any building or other structure used in, or relating to, the generation of energy by a renewable resource. It does not include renewable energy electricity generation where the energy produced principally supplies a domestic and/or business premises and any on selling to the grid is secondary.

FINANCIAL IMPLICATIONS

The proponent has paid the required development application fee of \$960 for the development which is estimated to cost \$300,000.

STRATEGIC IMPLICATIONS

Local Planning Strategy 2020:

Strategic Directions – Rural

Support non-rural uses that are compatible with, and complement, the primary use of the land.

Strategic Community Plan – Envision 2029

02 – Prosperity	The region will experience economic and population growth with increasing economic opportunities, diversifying primary production and a vibrant visitor economy.
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MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

Priority outcomes	Our Roles
Our region is celebrated as a major contributor to the State's food production with a diverse range of agricultural, fishery and horticultural enterprises.	Advocate and facilitate the reduction in economic barriers such as access to water, electricity, logistics infrastructure and telecommunications.

ATTACHMENTS

Circulated with the agenda is the following item relevant to this report:

- Development application report (SODR-1262144384-22641)
(Marked 9.3.1)

VOTING REQUIREMENT

Simple Majority.

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Clarke, seconded Cr Glasfurd

That Council:

- A. determine that the proposed land use of 'meteorological mast' is consistent with the objectives of the 'Rural' zone and is therefore permitted in accordance with clause 3.4.2 a) of the *Shire of Dandaragan Local Planning Scheme No.7*; and**
- B. grant development approval for a meteorological mast upon Lot 3577 (No. 762) Gillingarra Road, Regans Ford, subject to following condition and advice:**

Condition

All development shall be carried out only in accordance with the details of the application as approved herein and any approved plan. Subject to any modifications required as a consequence of any conditions of this approval the approved plans shall not be altered without the prior written approval of the Shire of Dandaragan.

Advice Notes:

- A. Should the Applicant be aggrieved by the decision (in part or whole) there is a right pursuant to the *Planning and Development Act 2005* to have the decision reviewed by the State Administrative Tribunal. Such an application must be lodged within twenty-eight (28) days from the date of the decision.**
- B. This is a development approval of the Shire of Dandaragan under its *Local Planning Scheme No.7*. It is not a building permit or approval to commence or carry out development under any other law. It is the responsibility of the applicant/landowner to obtain any other necessary approvals, consents, permits and licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.**

CARRIED 7 / 0

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**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.3.2 PROPOSED OUTBUILDING – LOT 742 (NO. 30) CRUSOE CRESCENT, JURIEN BAY

Location:	Lot 742 (No.30) Crusoe Crescent, Jurien Bay
Applicant:	Kerry & Mark Collinson
File Ref:	SODR-1262144384-22745
Disclosure of Interest:	Nil
Date:	30 April 2024
Author:	Rory Mackay, Principal Planning & Building Officer
Senior Officer:	Louis Fouché, Executive Manager Development Services

PROPOSAL

The purpose of this report is for Council to consider granting development approval for an outbuilding with a nil side boundary setback at Lot 742 (No.30) Crusoe Crescent, Jurien Bay.



Location Plan – Lot 742 (No.30) Crusoe Crescent, Jurien Bay

BACKGROUND

The applicant is seeking development approval to construct a 114m² garaport (combined garage and carport) outbuilding consisting of a 57m² enclosed shed section and a 57m² open front carport section at a wall height of 3.6m and a ridge height of 4.1m at the side of the 717m² property. The outbuilding will be constructed with a steel frame and clad in Colorbond steel sheeting to match the colour palette of the dwelling under construction by B2B Builders (a sister company of Elite Builders Jurien Bay).

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The outbuilding will be built up to the western side boundary for a wall length of 15.2m and will be set back 1m from the adjacent rear northern boundary for the outbuilding width of 7.5m.

A three-bedroom, two-bathroom dwelling with a 24m² single garage is under construction on the property.

The development proposal comparison against the Shire's *Local Planning Policy 9.4: Outbuildings Residential Areas* (Policy) deemed-to-comply provisions is provided in the table below:

Building Area	LPP9.4	Proposed
Enclosed Outbuilding (Shed) Area (10% of lot area or 80 m ² whichever is the lesser)	72m ²	57m ²
Open-walled Outbuilding (Lean-to) Area	40m ²	57m ²
Dwelling Attached Garage/Carport Area	40m ²	24m ²
Aggregate Outbuilding & Garage/Carport Area	152m²	138m²
Building Height & Setbacks	LPP9.4	Proposed
Outbuilding Wall/Gutter Height	3.6m	3.6m
Outbuilding Ridge Height	4.5m	4.1m
Outbuilding Rear Setback	1m	1m
Outbuilding Side Setback	1.5m	Nil

The variations are proposed due to the dwelling under construction only having a single garage and for maximisation of usable backyard open space on a corner property.

It is also noted that the proponent has previously constructed a Shire approved garaport of similar floor area at their previously owned Jurien Bay property of 11 Twilight Drive.



Google Maps street view of the existing garaport at 11 Twilight Drive, Jurien Bay

The development application was referred to the adjoining side property owner for comment. The side neighbour raised concern with the reduced side setback as detailed in the consultation section. As a result, this application has been referred to Council for

determination in accordance with the Delegation 9.1.2 (Town Planning – Other Use and Development).

COMMENT

Where a proposal does not meet the deemed-to-comply provisions of the Policy the decision maker is to consider the application against the design principles of the Policy (which is as per the Residential Designs Codes Volume 1 2024 (R-Codes)). The R-Codes design principles applicable for the proposed outbuilding are:

5.1.3 Lot boundary setbacks

P3.2 Buildings built up to boundaries (other than the street boundary) where this:

- *makes more effective use of space for enhanced privacy for the occupant/s or outdoor living areas;*
- *does not compromise the design principle contained in clause 5.1.3 P3.1;*
- *reduce impacts of building bulk on adjoining properties;*
- *provide adequate sunlight and ventilation to the building and open spaces on the site and adjoining properties; and*
- *minimise the extent of overlooking and resultant loss of privacy on adjoining properties*
- *does not have any adverse impact on the amenity of the adjoining property;*
- *ensures sunlight to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and*
- *positively contributes to the prevailing or future development context and streetscape as outlined in the local planning framework.*

5.4.3 Outbuildings

P3 Outbuildings that do not detract from the streetscape or the visual amenity of residents or neighbouring properties.

The merits of the development application are stated below in relation to these R-Codes performance-based design principles and the Policy:

- The proposed position of the outbuilding maximises the useable backyard open space for the proponent.
- The proposed outbuilding will not result in privacy or overlooking issues for adjoining properties.
- The nil side setback in lieu of 1.5m meets the deemed-to comply provision *C2.1 solar access* for adjoining sites of the R-codes; as the proposed shed is located on the western edge of the subject property which orientated north to south resulting in all calculated overshadowing falling over the proponent's property only.
- The proposed outbuilding is considered to be compatible with its setting in terms of building bulk, relative to the associated dwelling which has an area of 192m² and a maximum ridgeline height of 5.8m. The front open carport section of the outbuilding

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(although over on the 40m²) reduces the impact of the outbuilding on the streetscape.

- Although the open-walled outbuilding (lean-to) area exceeds the deemed-to-comply policy area by 17m², the enclosed shed area and the dwelling attached garage areas are 15m² and 16m² below the maximum policy area respectively with the aggregate floor area 14m² below the maximum aggregate floor area.
- The colours of the outbuilding (Colorbond Surfmist & Monument) will be complementary to the associated dwelling's design, to not detract from the streetscape or the amenity of neighbouring properties.
- The proposed outbuilding will be located behind the front building line of the dwelling under construction, to the side and rear of the property, which is a common design characteristic throughout Jurien Bay.
- A standard condition of development approval requires that stormwater be contained and controlled on the applicant's property. This will ensure that no gutters or downpipes/stormwater are located or run into adjoining properties.
- The proposed outbuilding will meet the open space requirements of the R-Codes of 50% (359m²) of the property not occupied by any building.
- The proposed outbuilding will occupy only 114m² (16%) of the 717m² property.
- It is noted that there is an existing 7.5m long, 2.9m zero lot boundary wall to a garage on the western side of the adjoining western vacant property and the cumulative impact of the proposed outbuilding boundary wall on the eastern boundary of the adjoining property is recognised. However the adjoining property is vacant land with a 20.5m width and 35m length which provides the landowner with sufficient ability to construct a residence to site characteristics in due course to ensure adequate sunlight and ventilation to major openings to any future dwelling.

Given the above the proposal is considered to meet the relevant R-Codes performance-based design principle applicable for the proposed outbuilding, it is recommended that Council approve the development application, subject to conditions.

CONSULTATION

The proposal was forwarded to the adjoining side and rear landowners for comment and a submission opposing the development was received. The submission and officer response is provided below:

Submission	Officer Response
I am not in favour of this due to:	It is noted that there is existing 7.5m long, 2.9m zero lot boundary wall to a garage on the western side of the adjoining vacant property and the cumulative impact of the

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<p>There being an existing block wall on the west boundary at No.35 Middleton Boulevard. The length being approximately 16m and at max height of 3.6m. Furthermore, because of the west boundary having been utilised I would like to see no further development on any of the common boundaries.</p>	<p>proposed outbuilding boundary wall on the eastern boundary of the adjoining property is recognised. However, the proposed nil boundary setback has been assessed as meeting the performance-based requirements of the R-Codes. Furthermore, the 20.5m width and 35m length of the property provides sufficient space to design a future dwelling with adequate sunlight and ventilation to major openings away from existing and future boundary walls.</p>
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STATUTORY ENVIRONMENT

- Planning and Development (Local Planning Schemes) Regulations 2015
 - Deemed provisions for local planning schemes
 - Cl.67. Consideration of application by local government
- Local Planning Scheme No 7:
 - The subject property is zoned Residential under the Shire's *Local Planning Scheme No.7* with a density code of R15.
 - Clause 4.2 of the Scheme references *State Planning Policy 7.3 – Development of land for residential purposes* are to conform with the provisions of the *Residential Design Codes*.

POLICY IMPLICATIONS

- Residential Design Codes Volume 1 (R-Codes) (State Planning Policy 7.3):
An outbuilding is defined as:
An enclosed non-habitable structure that is detached from any dwelling.
- Local Planning Policy 9.4 Outbuildings Residential Areas
- Western Australian Planning Commission Development Application Exercise of Discretion Guidelines:
 - Principle 1 – There should be a properly constructed planning framework.
 - Principle 2 – Look for guidance within the framework.
 - Principle 3 – There must be clear and logical (cogent) reasons to depart from the standard.
 - Principle 4 – Public/community input has a legitimate role in the planning process.
 - Principle 5 – Genuine and proper consideration.

FINANCIAL IMPLICATIONS

The applicant has paid the required fee of \$147 for the development application.

STRATEGIC IMPLICATIONS

There are no strategic implications relevant to this item.

ATTACHMENTS

<p>MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024</p>

Circulated with the agenda are the following items relevant to this report:

- Development plans (SODR-1262144384-22750)
(Marked 9.3.2)

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr McDonald, seconded Cr Glasfurd

That Council grant development approval for an outbuilding at Lot 742 (No.30) Crusoe Crescent, Jurien Bay subject to following conditions and advice:

Conditions:

1. All development shall be in accordance with the approved development plans, which form part of this development approval, to the specifications and satisfaction of the Shire of Dandaragan.
2. All stormwater must be contained and disposed of on-site at all times, to the satisfaction of the Shire of Dandaragan.
3. The outbuilding is not to be used for permanent human habitation, to the satisfaction of the Shire of Dandaragan.
4. The outbuilding must be finished, and thereafter maintained, in accordance with the schedule of the colour and texture of the building materials provided and approved by the Shire of Dandaragan, for the life of the development, to the satisfaction of the Shire of Dandaragan.

Advice Notes:

- A. This is a development approval of the Shire of Dandaragan under its *Local Planning Scheme No.7*. It is not a building permit or an approval to commence or carry out development under any other law. It is the responsibility of the applicant/landowner to obtain any other necessary approvals, consents, permits, and licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
- B. This approval is not an authority to ignore any constraint to development on the land which may exist through contract or on title, such as an easement, memorial or restrictive covenant. It is the responsibility of the applicant and landowner and not the Shire of Dandaragan to investigate any such constraints before commencing development. This approval will not necessarily have regard to any such constraint to development, regardless of whether or not it has been drawn to the Shire of Dandaragan's attention.
- C. Failure to comply with any of the conditions of this development approval constitutes an offence under the provisions of the *Planning and Development Act 2005* and the *Shire of Dandaragan Local Planning Scheme No.7* and

may result in legal action being initiated by the Shire of Dandaragan.

- D. If the applicant/landowner is aggrieved by this determination, there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. An application must be submitted within 28 days of this determination.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.3.3 REFERRAL OF APPLICATION TO EXTEND THE APPROVAL PERIOD OF THE JURIEBAY BAY (TURQUOISE COAST) STRUCTURE PLAN

Location:	Jurien Bay locality
Folder Path:	SODR-877026889-4353
Disclosure of Interest:	Nil
Date:	1 May 2024
Author:	Rory Mackay, Principal Planning & Building Officer
Senior Officer:	Louis Fouché, Executive Manager Development Services

PROPOSAL

The purpose of this report is for Council to consider an application made by Ardross Estates to extend the approval period of the Jurien Bay (Turquoise Coast) Structure Plan which set to expire on 19 October 2025 and provide a referral response to the Western Australian Planning Commission.

BACKGROUND

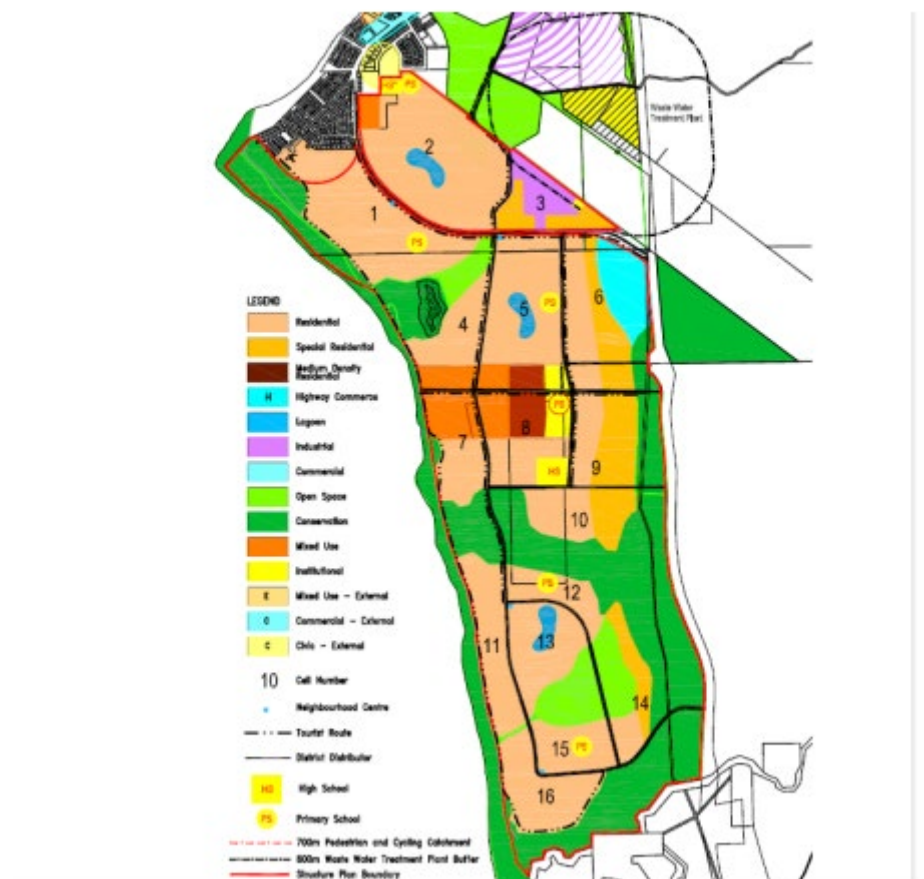
Under the current State Planning Framework, a structure plan is a key planning instrument for the coordination of future zoning, subdivision, and development of an area of land. It can be prepared for an undeveloped locality or parcel(s) of land (greenfield or brownfield) or an established locality that is identified for intensification of development and land use (infill). A structure plan contains a set of steps, measures and controls that are necessary to guide the plan's implementation through progressive subdivision and development of the land in its application area.

The Western Australian Planning Commission (WAPC) is responsible for approving structure plans to ensure that State strategic planning priorities and policy objectives are delivered through progressive subdivision and development in a coordinated

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manner. The Shire has a key role in preparing, creating, assessing, and providing recommendations on structure plans. The Shire advises and makes recommendations to the WAPC and the Department of Planning, Lands and Heritage (DPLH) on proposed structure plans based on its local knowledge, technical expertise, and local planning framework; and oversees the implementation of the plans in its jurisdiction.

In this instance, the DPLH on behalf of the WAPC has invited the Shire to comment on the proposal from the proponent (Ardross Estates) to extend the approval timeframe of the Jurien Bay (Turquoise Coast) Structure Plan (JBSP) approved in 2004. The JBSP applies to an area zoned for future urban development of approximately 2,000ha stretching along the coast to the south of the Jurien Bay townsite and down to Hill River and generally bordered on the east by the alignment of Indian Ocean Drive. This area is divided into three broad nodes and 16 development cells within the JBSP as shown below.



The proponent has stated within their application that the rate of development in Jurien Bay has been gradual and a limited extension of ten years is requested for the JBSP to provide for continuity of development of the first node, which includes development cells 1, 2 and 3; each having their own specific area detailed structure plans. Ardross Estates recognises that subdivision and development in these cells over that period will need to comply with the current planning framework and that the

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Residential' land uses with portions identified as 'Conservation' and 'Open Space' reserves. A large portion of the site is zoned 'Special Development' under the Shire's Local Planning Scheme No.7 with the western coastal boundary reserved 'Parks and Recreation' and associated with the current public foreshore reserve. This zoning allows for the future rationalisation of land by local planning scheme amendment(s) into the proposed structure plan zones and reserves when subdivision is periodically completed.

Notably, the JBSP includes reporting of a Memorandum of Understanding (MoU) between the Shire, WAPC and Ardross Estates regarding guiding principles for the development of the application area and detail environmental advice provided by the Environmental Protection Authority (WA) in 2001 for an environmental impact assessment process undertaken by Ardross Estates. This body of technical work and consultation underpins the developer's commitment to support the sustainable urban development of the application area over multiple decades.

The JBSP is not in the manner and form (format) of that a new structure plan is required to be in under the State Planning Framework. However, the content of the JBSP sufficiently covers the required content of a new structure plan. Nonetheless, as the application is to only extend the approval timeframe of the existing structure plan, and not amend its content, it is considered that the complete redrafting of the JBSP is not required. This is supported as Ardross Estates have outlined that they will subsequently draft new specific development cell detailed structure plans to the new structure plan manner and form prior to commencing development of each individual development cell (other than Beachridge Estate which is predominantly developed to date). The contemporary technical advice in regard to bushfire and coastal planning as outlined below will be required to be referenced and built upon in these detailed structure plans for each development cell.

As the application area of the JBSP is designated as being 'Bushfire Prone' by the Department of Fire and Emergency Services, a Bushfire Hazard Level Assessment (BHL) was undertaken to support the subject application. A BHL is used to support strategic planning proposals by addressing State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP3.7) to ensure development can preserve life and reduce the impact of bushfire on property and infrastructure by assessing bushfire risk and identifying bushfire risk management practices. As part of assessing bushfire hazards in accordance with SPP3.7 both existing vegetation conditions and the long-term bushfire risk based on development in accordance with the JBSP were considered in accordance with *Australian Standard 3959 Construction of Building in Bushfire Prone Areas*.

The BHL concludes that the proposed urban land use within the application area can achieve a 'moderate' or 'low' bushfire hazard rating and compliance with the SPP3.7 Bushfire Protection Criteria

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as the subdivision and development progress over time. Regardless, best management practices are recommended to be adopted through future planning and implementation stages to reduce the bushfire hazards to the application area. For example, a Bushfire Management Plan (BMP) will be required to support future subdivision and/or development for the site, to detail how the proposed development layout has or will address the Bushfire Protection Criteria based on the recommendations outlined within the BHL, as well as to determine the likely Bushfire Attack Level ratings applicable to the future habitable buildings.

The Shire's Coastal Hazard Risk Management and Adaptation Plan (CHRMAP) does not include any analysis of the Nodes 2 and 3 (Cells 4 to 16) further south than 1.5 km south of Island Point (Node 1). The hazard of coastal erosion for the subject land was last examined by MP Rogers and Associates in 1999. This assessment predated State Planning Policy 2.6 Coastal Planning (SPP2.6) and therefore the methodology used is not in accordance with the current day methodology under SPP2.6.

To support the subject application, MP Rogers and Associates has outlined that a detailed coastal hazard assessment to support the development of Nodes 2 and 3 (Cells 4-16) will be undertaken in the long term when this portion of the JBSP application area is progressed by Ardross Estates.

As SPP2.6 is continually reviewed and modified by the State when new information comes to hand in coastal planning, it is agreed with MP Rogers and Associates that it is appropriate that a site-specific coastal hazard assessment should not be required until such a time that subdivision and development is progressed by the proponent for this portion of the JBSP. For the interim period the following high level coastal erosion allowances should be recorded against the JBSP:

- 1) An interim Horizontal Shoreline Datum (HSD) of 1.6 mAHD. This is the value adopted by Cardno for the Jurien Bay townsite in the CHRMAP.
- 2) An interim coastal erosion hazard allowance of 200m from the HSD. This is an interim allowance to account for the values of S1 severe storm erosion, S2 historic shoreline movement trends, S3 future sea level rise, and a factor of safety.
- 3) A further allowance of 20m for a local beach recreation zone behind the interim erosion hazard allowance line.

It is concluded that the approval of the JBSP is suitable to be extended for another ten-year period to enable the subdivision and development of Cells 1-3 over this timeframe. It is therefore recommended that Council respond to the WAPC's referral accordingly.

CONSULTATION

Consultation is not required as the Shire is responding to a referral from DPLH on behalf of the WAPC.

STATUTORY ENVIRONMENT

Planning and Development (Local Planning Schemes) Regulations 2015 – Schedule 2 Deemed provisions for local planning schemes: Clause 28. Duration of approval (1) Subject to this clause and clause 29A, the approval of a structure plan has effect for — (a) the period of 10 years commencing on the day on which the Commission approves the plan; or (b) another period determined by the Commission when approving the plan. (2) The Commission may extend the period for which the approval of a structure plan has effect under subclause (1) if there are no changes to the terms of the plan. (3) The Commission may revoke its approval of a structure plan if (a) a new structure plan is approved in relation to the area to which the structure plan to be revoked relates; or (b) the Commission considers that the plan has been implemented or is otherwise no longer required; or (c) the Commission considers that the structure plan cannot be effectively implemented because of a legislative change or a change in a State planning policy; or (d) for a structure plan that was the subject of an application under clause 16(3), the revocation is agreed to by — (i) the owner of the land to which the structure plan relates (or, if the land is owned by 2 or more owners, each of them); and (ii) the local government. (4) For the purposes of subclause (1), a structure plan that was approved before 19 October 2015 is taken to have been approved on that day.

POLICY IMPLICATIONS

WA Planning Manual Guidance for Structure Plans: Because of its nature and purpose, a structure plan is a guiding document that is given due regard in decision making, unlike a local planning scheme (scheme) which has statutory effect. A standard structure plan is considered to have achieved its purpose when the structure plan measures have been implemented, the land has been subdivided, and lot boundaries are established. It is then that the structure plan zones and reserves and planning controls applicable to lots, can be transferred into the scheme via the scheme amendment process.

Based on the structure plan's due regard status, decision makers are not legally bound by structure plans, but have an obligation to use the structure plan to determine proposals for subdivision or development. This means considering the plan's purpose and vision, objectives, design rationale and implementation requirements - together with any associated scheme provisions, local planning policy, or guidelines that apply to the structure plan area. A decision maker should not set aside a structure plan or key structure plan provisions unless this is warranted in a particular situation and is appropriately justified in the decision.

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FINANCIAL IMPLICATIONS

There are no financial implications relevant to this item.

STRATEGIC IMPLICATIONS

Local Planning Strategy 2020

Settlement Planning – Strategic Directions: General Promote and support urban growth and infill in a manner that concentrates settlement and growth in and around the four existing townsites, the rural hinterland and rural areas. Jurien Bay Recognise Jurien Bay as the regional centre providing services and facilities to serve the wider regional community. Plan for an aspirational population of 20,000+.

Acknowledge that there are sufficient vacant lots and land zoned for residential land use to satisfy demand beyond 15 years. Settlement Planning – Actions Support staged development of identified residential expansion areas in accordance with the Turquoise Coast and North Head structure plans, subject to availability of utility infrastructure.

Strategic Community Plan - Envision 2029

02 - Prosperity	The region will experience economic and population growth with increasing economic opportunities, diversifying primary production and a vibrant visitor economy.
Priority Outcomes	Our Roles
Our Shire has a contemporary land use planning system that responds to, and creates, economic opportunities for small business and emerging	Ensuring that our planning framework is modern and meets the needs of industry. Identify and activate underutilised economic and land assets to promote employment and economic activity opportunities.

ATTACHMENTS

Circulated with the agenda are the following items relevant to this report:

- WAPC Referral Letter (Doc Id: SODR-877026889-4377)
- MP Rogers & Associates Letter (Doc Id: SODR-877026889-4354)
- Emerge Associates Bushfire Hazard Level Assessment (SODR-877026889-4357)
- Jurien Bay Structure Plan (Doc Id: SODR-877026889-3753)

(Marked 9.3.4)

VOTING REQUIREMENT

Simple Majority

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Gibson, seconded Cr Glasfurd

That Council advise the Western Australian Planning Commission that it supports the application by Ardross Estates to extend the approval period of the Jurien Bay

(Turquoise Coast) Structure Plan in its current manner and form by a further 10 (ten) years from the 19 October 2025 and provides the following advice.

Bushfire Advice: The development of the structure plan application area is to consider the findings and recommendations made in the Bushfire Hazard Level Assessment prepared by Emerge Associates and dated December 2023.

Coastal Advice: The development of Cells 1-3 within the application area is to be in accordance with the Shire of Dandaragan Coastal Hazard Risk Management and Adaptation Plan (CHRMAP) (as amended) where relevant. The development of further Cells 4-16 will require the submission to and consideration by the relevant decision maker of a detailed site-specific CHRMAP to be prepared at the full cost of the proponent. For the interim period the following high level coastal erosion allowances are recommended to be recorded for development Cells 4-16 of the Jurien Bay (Turquoise Coast) Structure Plan:

- 1) An interim Horizontal Shoreline Datum (HSD) of 1.6 mAHD. This is the value adopted by Cardno for the Jurien Bay townsite in the current Shire of Dandaragan CHRMAP.
- 2) An interim coastal erosion hazard allowance of 200m from the HSD. This is an interim allowance to account for the values of S1 severe storm erosion, S2 historic shoreline movement trends, S3 future sea level rise, and a factor of safety.
- 3) A further allowance of 20m for a local beach recreation zone behind the interim erosion hazard allowance line.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

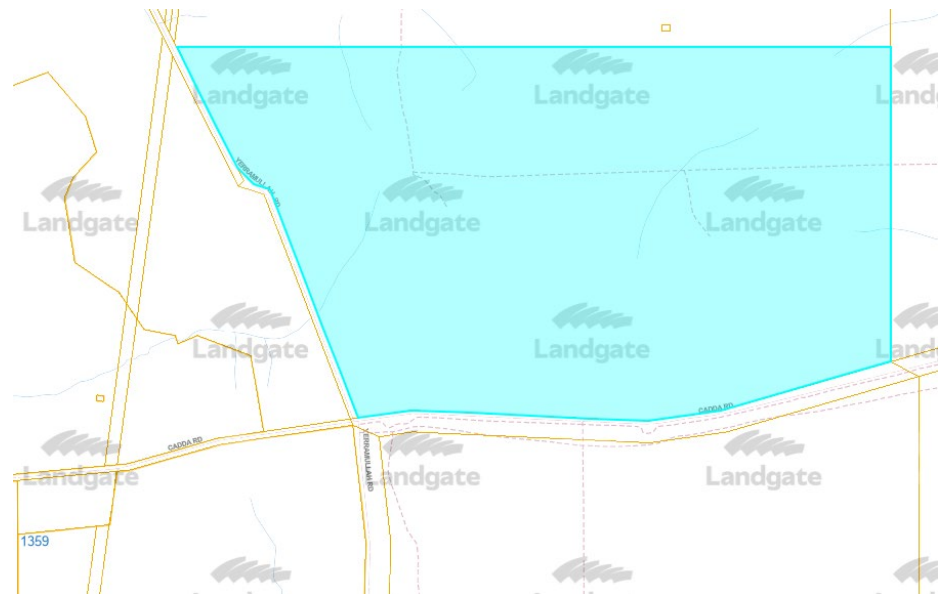
AGAINST: Nil

9.3.4 PROPOSED METEOROLOGICAL MAST – LOT 3744 CADDAROAD, BADGINGARRA

Location:	Lot 3744 Cadda Road, Badgingarra
Applicant:	Zephyr Energy Pty Ltd
Landowner:	Brogate Pty Ltd
File Path:	SODR-1262144384-23121
Disclosure of Interest:	Nil
Date:	6 May 2024
Author:	Rory Mackay, Principal Planning & Building Officer
Senior Officer:	Louis Fouché, Executive Manager Development Services

PROPOSAL

The purpose of this report is for Council to consider granting development approval for the erection of a 140m tall meteorological mast (met mast) on Lot 3744 Cadda Road, Badgingarra. A determination whether the proposed development is consistent with the objectives of the 'Rural' zone, is required in the first instance.



Location Plan - Lot 3744 Cadda Road, Badgingarra

BACKGROUND

The proponent is proposing to install a 140m tall met mast to undertake climatic monitoring for the future calibration of the approved Parron Wind Farm. This wind farm has conditional development approval until 12 December 2029 for 54 turbines across Lots 3738, 3739, 3742, 3743 and 3744 in the Badgingarra and Hill River localities on the farm known as 'Parron Place'.

The proponent is also considering seeking further development approval for an additional 36 turbines across Parron Place to take the total turbine number of the Parron Wind Farm to 90 in the future.

The proposed met mast development for location one as shown in the attached plans will consist of a 140m steel primary met mast structure with an associated guy-fixing system and wind measuring system consisting of five anemometers, three wind vanes and boom arms. The met mast will occupy 0.02 ha of the 1,659.5-ha lot.

The proposed location of the development at mast location one will avoid any clearing of native vegetation and access to the met mast site will be via existing internal access tracks within the property.

There is an existing met mast of similar infrastructure at outlined mast location two on the subject property which was erected in 2018. This met mast has been used to date for the undertaking of the feasibility of developing a wind farm on Parron Place. This

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existing met mast will remain with the erection of the proposed mast and will also be used for future wind turbine calibration works.

COMMENT

With reference to the use-not-listed provisions of the Shire's *Local Planning Scheme No.7* (Scheme) listed in the Statutory Environment section of this report, Council first needs to determine that the proposed development of a 'meteorological mast' is compatible with the 'Rural' zoning of the subject property before determining the development application.

The proposed met mast development is supported for the following reasons:

- The development will have minimal impact on the visual amenity of the locality and will not be clearly visible from surrounding properties due to the minimal structural elements of the met mast.
- The development requires no vegetation clearing and has little to none conflict with the established agriculture land use of the property.
- The development (at least 1960m from the road reserve boundaries) will not be in close proximity to existing sensitive land uses (homesteads) which do not form part of Parron Wind Farm.
- Any traffic impacts associated with construction will be of short-term duration and are not anticipated to have a significant adverse impact on the surrounding road network. In the unlikely event that a road closure would be required, the proponent would request permission from the relevant authorities.
- The met mast will not be manned during operation, with minimal property access required to conduct routine maintenance.
- The development is considered to be compatible with the existing principal broadacre farming (agriculture – extensive) land use for the site and compatible with the objective of the Rural Zone.
- The Civil Aviation and Safety Authority will be notified of the proposed construction as required under Part 139 of the *Civil Aviation and Safety Regulations 1998*.

Given the above, it is recommended that Council applies the relevant discretion by granting conditional development approval for the proposal.

CONSULTATION

As no owners or occupiers of properties were identified in the vicinity of the development who are likely to be negatively affected by the granting of development approval, no consultation was undertaken.

STATUTORY ENVIRONMENT

Local Planning Scheme No. 7:

As this proposed land use class is not listed within the Zoning Table of the Scheme, the use-not-listed provisions of the Scheme apply:

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3.4.2. *If a person proposes to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may —*

- a) *determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- b) *determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 64 of the deemed provisions in considering an application for development approval; or*
- c) *determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted.*

The Scheme objective for the Rural zone of which the subject property is zoned is:

To provide for a range of rural activities such as broadacre and diversified farming so as to retain the rural character and amenity of the locality, in such a way as to prevent land degradation and further loss of biodiversity.

POLICY IMPLICATIONS

Western Australian Planning Commission – Position Statement
Renewable Energy Facilities:

The local planning framework, principally administered by local government, can effectively manage the development assessment of renewable energy facilities...

Renewable energy facility means premises used to generate energy from a renewable energy source and includes any building or other structure used in, or relating to, the generation of energy by a renewable resource. It does not include renewable energy electricity generation where the energy produced principally supplies a domestic and/or business premises and any on selling to the grid is secondary.

FINANCIAL IMPLICATIONS

The proponent has paid the required development application fee of \$1077.74 for the development which is estimated to cost \$336,795.

STRATEGIC IMPLICATIONS

Local Planning Strategy 2020:

Strategic Directions – Rural

Support non-rural uses that are compatible with, and complement, the primary use of the land.

Strategic Community Plan – Envision 2029

02 – Prosperity	The region will experience economic and population growth with increasing economic opportunities, diversifying
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	primary production and a vibrant visitor economy.
Priority outcomes	Our Roles
Our region is celebrated as a major contributor to the State's food production with a diverse range of agricultural, fishery and horticultural enterprises.	Advocate and facilitate the reduction in economic barriers such as access to water, electricity, logistics infrastructure and telecommunications.

ATTACHMENTS

Circulated with the agenda is the following item relevant to this report:

- Vestas Measurement Campaign Specification (SODR-1262144384-23132)
(Marked 9.3.4)

VOTING REQUIREMENT

Simple Majority.

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Glasfurd, seconded Cr McDonald

That Council:

- A. determine that the proposed land use of 'meteorological mast' is consistent with the objectives of the 'Rural' zone and is therefore permitted in accordance with clause 3.4.2 a) of the *Shire of Dandaragan Local Planning Scheme No.7*; and**
- B. grant development approval for a meteorological mast upon Lot 3744 Cadda Road, Badgingarra, subject to following condition and advice:**

Condition

All development shall be carried out only in accordance with the details of the application as approved herein and any approved plan. Subject to any modifications required as a consequence of any conditions of this approval the approved plans shall not be altered without the prior written approval of the Shire of Dandaragan.

Advice Notes:

- A. Should the Applicant be aggrieved by the decision (in part or whole) there is a right pursuant to the *Planning and Development Act 2005* to have the decision reviewed by the State Administrative Tribunal. Such an application must be lodged within twenty-eight (28) days from the date of the decision.**
- B. This is a development approval of the Shire of Dandaragan under its *Local Planning Scheme No.7*. It is not a building permit or approval to commence or carry out development under any other law. It is the responsibility of the applicant/landowner to obtain any other necessary approvals, consents, permits and licenses required under any other law, and to commence and carry out development**

in accordance with all relevant laws.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

9.4 GOVERNANCE & ADMINISTRATION

9.4.1 ELECTION OF DELEGATES TO VARIOUS COMMITTEES AND ORGANISATIONS

Location:	N/A
Applicant:	N/A
Folder Path:	SODR-1739978813-4134
Disclosure of Interest:	None
Date:	14 May 2024
Author:	Brent Bailey, Chief Executive Officer

PROPOSAL

To appoint a new Council representative to various committees and organisations.

BACKGROUND

The Shire of Dandaragan provides representation to a range of community organisations as well as its own working groups.

Following former Cr Shanahun's resignation and the recent extraordinary election where Cr Lethlean was elected, it is recommended that Council review the delegates to these committees and organisations.

COMMENT

The following table shows the Shire of Dandaragan list of delegates to outside committees & organisations as of 26 October 2023. Councillors will need to work through the table to reappoint representatives to the various groups. To facilitate open discussion on this item it is recommended that Council suspends clauses 8.8 and 10.5 of the Shire of Dandaragan Local Government (Council Meetings) Local Law 2019.

Advance Dandaragan	Cr Glasfurd
Aggies Cottage Management Committee (Wolba Wolba)	Cr Glasfurd
Audit Committee (Shire of Dandaragan)	Cr Shanahun Cr Clarke, Cr McDonald, Cr O'Gorman President & Deputy President
Avon Midland Zone WALGA	
Badgingarra Community Centre Management Committee	Cr McDonald
Badgingarra Community Association	Cr McDonald
Cervantes Ratepayers and Progress Association	Cr O'Gorman

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Community Grants Committee	Cr Shanhan, Cr Young, Cr Glasfurd, Cr Clarke
Dandaragan Community Centre Management Committee	Cr Glasfurd
Dept of Transport - Marine Advisory Committee – Jurien Bay	Cr O’Gorman
Jurien Bay Chamber of Commerce	Cr Clarke
Jurien Bay Progress Association	Cr O’Gorman
Lancelin Defence Training Area Management Advisory Committee	Cr Gibson
Leeuwin Scholarship Panel	Cr McDonald, Cr Shanhan, Cr Clarke, Cr Young
Local Emergency Management Committee	Cr O’Gorman (also Chair)
Regional Joint Development Assessment Panel	Member Cr McDonald Member Cr O’Gorman Alternate Member Cr Clarke Alternate Member Cr Glasfurd
Moora Local Health Advisory Group	Cr Glasfurd
Moore Catchment Council	Cr Glasfurd
Moora Sub Regional Road Group	Cr Gibson
Northern Growth Alliance (Chittering, Dandaragan & Gingin)	Shire President, Cr O’Gorman Deputy President Cr McDonald (proxy)
Cervantes Men’s Shed	Cr Gibson
Jurien Bay Aerodrome Working Group	Cr Gibson, Cr Shanhan (proxy)
Yandin Windfarm Community Fund	Cr O’Gorman
Jurien Bay Recreation Precinct Working Group	Cr McDonald, Cr O’Gorman

CONSULTATION

Nil

STATUTORY ENVIRONMENT

There are no statutory implications relevant to this item.

POLICY IMPLICATIONS

Council Policy 1.13 C-1EMEPD013 – Elected Members Entitlements and Professional Development applies. - 4.4 Travel Expenses

Note: this clause also applies to non-elected members

1. *All Elected members and Council appointed delegates (who are not elected members) will be paid the Local Government Officer’s Award rate per kilometre for all travelling expenses incurred in attending the following:*

- *annual and special and general meetings of electors;*
- *officially called civic receptions;*
- *visits by Ministers of the Crown to the Council or with it;*
- *Council inspection tours;*
- *Council authorised meetings with government agencies;*
- *other Council called meetings of Councillors and staff;*
- *committee meetings;*
- *community group meetings or meetings with key stakeholders which in the opinion of the CEO or Shire President require*

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

a Council member present, and where prior approval has been provided by the CEO or Shire President.

- **official meetings as delegates of Council;**
- *ordinary meetings of Council;*
- *official locality inspections; and*
- *Council authorised conferences / seminars / professional development courses.*

FINANCIAL IMPLICATIONS

Elected members representing the Shire of Dandaragan as Council endorsed delegates are eligible to claim travel expenses in accordance with Policy 1.13 - C-1EMEPD013 Elected Members Entitlements and Professional Development.

STRATEGIC IMPLICATIONS

A number of the delegate positions relate to working groups or committees that have direct involvement with specific actions within the Shire of Dandaragan Community Strategic Plan.

ATTACHMENTS

Nil

VOTING REQUIREMENT

Simple majority

OFFICER RECOMMENDATION / COUNCIL DECISION 1

Moved Cr McDonald, seconded Cr Gibson

That Council Suspend Clauses 8.8 And 10.5 of the Shire of Dandaragan Local Government (Council Meetings) Local Law 2019.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

OFFICER RECOMMENDATION / COUNCIL DECISION 2

Moved Cr Gibson, seconded Cr Clarke

That Council Reinstate Clauses 8.8 And 10.5 of the Shire of Dandaragan Local Government (Council Meetings) Local Law 2019.

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

OFFICER RECOMMENDATION / COUNCIL DECISION 3

Moved Cr McDonald, seconded Cr Clarke

That Council appoint the following delegates for the term of the current Council:

Advance Dandaragan	Cr Glasfurd
Aggies Cottage Management Committee (Wolba Wolba)	Cr Glasfurd
Audit Committee (Shire of Dandaragan)	Cr Lethlean, Cr Clarke, Cr McDonald, Cr O’Gorman
Avon Midland Zone WALGA	President & Deputy President
Badgingarra Community Centre Management Committee	Cr Lethlean
Badgingarra Community Association	Cr Lethlean
Cervantes Ratepayers and Progress Association	Cr O’Gorman
Community Grants Committee	Cr Lethlean, Cr Young, Cr Glasfurd, Cr Clarke
Dandaragan Community Centre Management Committee	Cr Glasfurd
Dept of Transport - Marine Advisory Committee – Jurien Bay	Cr O’Gorman
Jurien Bay Chamber of Commerce	Cr Clarke
Jurien Bay Progress Association	Cr O’Gorman
Lancelin Defence Training Area Management Advisory Committee	Cr Gibson
Leeuwin Scholarship Panel	Cr McDonald, Cr Lethlean, Cr Clarke, Cr Young
Local Emergency Management Committee	Cr O’Gorman (also Chair)
Regional Joint Development Assessment Panel	Member Cr McDonald Member Cr O’Gorman Alternate Member Cr Clarke Alternate Member Cr Glasfurd
Moora Local Health Advisory Group	Cr Glasfurd
Moore Catchment Council	Cr Glasfurd
Moora Sub Regional Road Group	Cr Gibson
Northern Growth Alliance (Chittering, Dandaragan & Gingin)	Shire President, Cr O’Gorman Deputy President Cr McDonald (proxy)
Cervantes Men’s Shed	Cr Gibson
Jurien Bay Aerodrome Working Group	Cr Gibson, Cr Clarke
Yandin Windfarm Community Fund	Cr O’Gorman
Jurien Bay Recreation Precinct Working Group	Cr McDonald, Cr O’Gorman

CARRIED 7 / 0

**FOR: Cr O’Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024
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9.5 COUNCILLOR INFORMATION BULLETIN

9.5.1 SHIRE OF DANDARAGAN – APRIL COUNCIL STATUS REPORT

Document ID: SODR-1739978813-6419

Attached to the agenda is a copy of the Shire's status report from the Council Meeting held April 2024. *(Marked 9.5.1)*

9.5.2 SHIRE OF DANDARAGAN – BUILDING STATISTICS – APRIL 2024

Document ID: SODR-2045798944-8669

Attached to the agenda is a copy of the Shire of Dandaragan Building Statistics for April 2024. *(Marked 9.5.2)*

9.5.3 SHIRE OF DANDARAGAN – PLANNING STATISTICS – APRIL 2024

Document ID: SODR-2045798944-8670

Attached to the agenda is a copy of the Shire of Dandaragan Planning Statistics for April 2024. *(Marked 9.5.3)*

9.5.4 SHIRE OF DANDARAGAN TOURISM / LIBRARY / COMMUNITY ACTIVITIES REPORT FOR APRIL 2024

Document ID: SODR-1876983588-1456

Attached to the agenda is monthly report for Tourism / Library for April 2024. *(Marked 9.5.4)*

9.5.5 WSFN GOVERNANCE PLAN – SUMMARY OF CHANGES

Document ID: SODR-346959250-3850

Attached to the agenda is the Wheatbelt Secondary Freight Network Revised Governance plan *(Marked 9.5.5)*.

10 NEW BUSINESS OF AN URGENT NATURE – INTRODUCED BY RESOLUTION OF THE MEETING

11 CONFIDENTIAL ITEMS FOR WHICH MEETING IS CLOSED TO THE PUBLIC

Section 5.23 of the Local Government Act 1995 stipulates that all Council Meetings are generally open to the public. Section 5.23 goes on to identify specific situations in which the Council or committee may close to members of the public the meeting, or part of the meeting.

In situations where it is deemed that a meeting or part of a meeting must be closed to the public, Section 5.23 (3) states “A decision to close a meeting or part of a meeting and the reason for the decision are to be recorded in the minutes of the meeting.”

For a decision to be recorded in the minute a formal motion must be passed by Simple majority clearly stating the reason for the closure in accordance with Section 5.23 of the Local Government Act 1995.

Local Government Act 1995

5.23. Meetings generally open to public

- (1) Subject to subsection (2), the following are to be open to members of the public —

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024
--

- (a) all council meetings; and
 - (b) all meetings of any committee to which a local government power or duty has been delegated.
- (2) If a meeting is being held by a council or by a committee referred to in subsection (1)(b), the council or committee may close to members of the public the meeting, or part of the meeting, if the meeting or the part of the meeting deals with any of the following —
- (a) a matter affecting an employee or employees;
 - (b) the personal affairs of any person;
 - (c) a contract entered into, or which may be entered into, by the local government and which relates to a matter to be discussed at the meeting;
 - (d) legal advice obtained, or which may be obtained, by the local government and which relates to a matter to be discussed at the meeting;
 - (e) a matter that if disclosed, would reveal —
 - (i) a trade secret;
 - (ii) information that has a commercial value to a person; or
 - (iii) information about the business, professional, commercial or financial affairs of a person, where the trade secret or information is held by, or is about, a person other than the local government;
 - (f) a matter that if disclosed, could be reasonably expected to —
 - (i) impair the effectiveness of any lawful method or procedure for preventing, detecting, investigating or dealing with any contravention or possible contravention of the law;
 - (ii) endanger the security of the local government's property; or
 - (iii) prejudice the maintenance or enforcement of a lawful measure for protecting public safety;
 - (g) information which is the subject of a direction given under section 23(1a) of the *Parliamentary Commissioner Act 1971*; and
 - (h) such other matters as may be prescribed.
- (3) A decision to close a meeting or part of a meeting and the reason for the decision are to be recorded in the minutes of the meeting.

Local Government (Administration) Regulations 1996

4A. Meeting, or part of meeting, may be closed to public — s. 5.23(2)(h)

The determination by the local government of a price for the sale or purchase of property by the local government, and the discussion of such a matter, are matters prescribed for the purposes of section 5.23(2)(h).

11.1 GOVERNANCE

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr McDonald, seconded Cr Clarke

That the meeting be closed to members of the public at 4:14pm in accordance with Section 5.23 (2) (h) of the Local Government Act 1995 and Regulation 4A of the Local Government (Administration) Regulations 1996 to allow Council to discuss Item 11.1.1 Disposal of Property – Lot 102 Dandaragan Road, Dandaragan.

CARRIED 7 / 0

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024
--

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

4 members of public and Mrs N Winsloe left the meeting at 4:14pm

11.1.1 DISPOSAL OF PROPERTY – LOT 102, 3494 DANDARAGAN ROAD, DANDARAGAN

Location:	Lot 102, 3494 Dandaragan Road, Dandaragan
File Ref:	SODR-757425863-2792
Date:	10 May 2024
Author:	Tricia Slee, Economic Development Manager
Senior Officer	Louis Fouché, Executive Manager Development Services

This report has been abridged due to the confidential nature of the content that is contained within this report.

OFFICER RECOMMENDATION / COUNCIL DECISION

Moved Cr Gibson, seconded Cr Glasfurd

That Council authorise the Chief Executive Officer to:

- 1. Commence the process to dispose of Lot 102 on Deposited Plan 64266 Volume 2741 Folio 508, 3494 Dandaragan Road, Dandaragan, to Parisse Ann Humphrey for the sum of \$360,000 by giving 14 days local public notice inviting submissions of the proposed disposition in accordance with Section 3.58 of the Local Government Act 1995.**
- 2. Subject to no adverse submissions being received by the time and date specified in the notice, to accept the offer from Parisse Ann Humphrey to purchase Lot 102 on Deposited Plan 64266 Volume 2741 Folio 508, 3494 Dandaragan Road, Dandaragan, for the sum of \$360,000 and approve the asset disposition.**

CARRIED 7 / 0

**FOR: Cr O'Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

MINUTES OF ORDINARY COUNCIL MEETING HELD THURSDAY 23 MAY 2024

COUNCIL DECISION

**Moved Cr Clarke, seconded Cr McDonald
That the meeting be re-opened to the public at 4:16pm**

CARRIED 7 / 0

**FOR: Cr O’Gorman, Cr McDonald, Cr Gibson, Cr Clarke,
Cr Glasfurd, Cr Young, Cr Lethlean**

AGAINST: Nil

4 members of public and Mrs N Winsloe rejoined the meeting at 4:16pm and the Chief Executive Officer read aloud the Council decision.

12 ELECTED MEMBERS MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

13 CLOSURE OF MEETING

The presiding member declared the meeting closed at 4.18pm.

These minutes were confirmed at a meeting on
.....

Signed

Presiding person at the meeting at which the minutes were confirmed

Date



ATTACHMENTS

FOR ORDINARY COUNCIL MEETING 23 MAY 2024



**MONTHLY FINANCIAL REPORT
For the period ended 31 March 2024**

*LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996*

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SHIRE OF DANDARAGAN
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MARCH 2024

	Supplementary Information	Amended Budget Estimates (a) \$	YTD Budget Estimates (b) \$	YTD Actual (c) \$	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var.
OPERATING ACTIVITIES							
Revenue from operating activities							
General rates	8	7,416,740	7,416,740	7,385,276	(31,464)	(0.42%)	
Grants, subsidies and contributions	12	1,065,729	785,229	586,057	(199,172)	(25.36%)	▼
Fees and charges		2,789,660	2,367,101	2,515,074	147,973	6.25%	
Interest revenue		210,247	69,498	49,484	(20,014)	(28.80%)	▼
Other revenue		50,999	34,000	39,784	5,784	17.01%	
Profit on asset disposals	4	826,448	44,479	35,010	(9,469)	(21.29%)	
		12,359,823	10,717,047	10,610,685	(106,362)	(0.99%)	
Expenditure from operating activities							
Employee costs		(5,140,498)	(3,426,999)	(3,509,905)	(82,906)	(2.42%)	
Materials and contracts		(5,046,229)	(3,364,153)	(3,585,357)	(221,204)	(6.58%)	
Utility charges		(396,683)	(264,456)	(305,178)	(40,722)	(15.40%)	▼
Depreciation		(8,136,024)	(5,424,016)	(6,330,680)	(906,664)	(16.72%)	▼
Finance costs		(49,582)	(27,210)	(17,021)	10,189	37.45%	▲
Insurance		(364,605)	(364,605)	(362,562)	2,043	0.56%	
Other expenditure		(741,875)	(544,861)	(583,857)	(38,996)	(7.16%)	
Loss on asset disposals	4	(7,931)	(5,287)	0	5,287	100.00%	
		(19,883,427)	(13,421,587)	(14,694,560)	(1,272,973)	(9.48%)	
Non-cash amounts excluded from operating activities	Note 2(b)	7,317,507	5,384,824	6,295,670	910,846	16.92%	▲
Amount attributable to operating activities		(206,098)	2,680,284	2,211,795	(468,489)	(17.48%)	
INVESTING ACTIVITIES							
Inflows from investing activities							
Proceeds from capital grants, subsidies and contributions	13	8,475,271	1,751,380	2,585,820	834,440	47.64%	▲
Proceeds from disposal of assets	4	1,633,860	156,000	133,364	(22,636)	(14.51%)	▼
Proceeds from financial assets at amortised cost - self supporting loans		20,938	19,135	19,135	0	0.00%	
		10,130,069	1,926,515	2,738,319	811,804	42.14%	
Outflows from investing activities							
Payments for property, plant and equipment	3	(2,898,768)	(632,814)	(952,841)	(320,027)	(50.57%)	▼
Payments for construction of infrastructure	3	(8,172,470)	(3,315,017)	(3,514,334)	(199,317)	(6.01%)	
		(11,071,238)	(3,947,831)	(4,467,175)	(519,344)	(13.16%)	
Amount attributable to investing activities		(941,169)	(2,021,316)	(1,728,856)	292,460	14.47%	
FINANCING ACTIVITIES							
Inflows from financing activities							
Proceeds from new debentures	9	432,000	0	0	0	0.00%	
Transfer from reserves	2	737,851	0	0	0	0.00%	
		1,169,851	0	0	0	0.00%	
Outflows from financing activities							
Repayment of borrowings	9	(166,295)	(91,436)	(91,436)	0	0.00%	
Payments for principal portion of lease liabilities	10	(31,311)	(24,280)	(24,280)	0	0.00%	
Transfer to reserves	2	(1,066,818)	0	(20,799)	(20,799)	0.00%	
		(1,264,424)	(115,716)	(136,515)	(20,799)	(17.97%)	
Amount attributable to financing activities		(94,573)	(115,716)	(136,515)	(20,799)	(17.97%)	
MOVEMENT IN SURPLUS OR DEFICIT							
Surplus or deficit at the start of the financial year		1,760,621	1,760,621	1,760,621	0	0.00%	
Amount attributable to operating activities		(206,098)	2,680,284	2,211,795	(468,489)	(17.48%)	▼
Amount attributable to investing activities		(941,169)	(2,021,316)	(1,728,856)	292,460	14.47%	▲
Amount attributable to financing activities		(94,573)	(115,716)	(136,515)	(20,799)	(17.97%)	▼
Surplus or deficit after imposition of general rates		518,782	2,303,873	2,107,045	(196,828)	(8.54%)	

KEY INFORMATION

▲▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

* Refer to Note 3 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

SHIRE OF DANDARAGAN
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 MARCH 2024

	30 June 2023	31 March 2024
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	8,937,592	8,843,485
Trade and other receivables	2,369,979	1,846,249
Other financial assets	21,478	564
Inventories	54,945	14,425
TOTAL CURRENT ASSETS	11,383,994	10,704,723
NON-CURRENT ASSETS		
Trade and other receivables	69,285	69,285
Other financial assets	138,034	138,034
Property, plant and equipment	36,019,634	35,913,221
Infrastructure	291,704,272	291,662,259
Right-of-use assets	34,869	11,473
TOTAL NON-CURRENT ASSETS	327,966,094	327,794,272
TOTAL ASSETS	339,350,088	338,498,995
CURRENT LIABILITIES		
Trade and other payables	603,345	1,298,248
Other liabilities	3,572,360	3,951,911
Lease liabilities	31,335	7,055
Borrowings	166,295	74,858
Employee related provisions	672,709	326,038
TOTAL CURRENT LIABILITIES	5,046,044	5,658,110
NON-CURRENT LIABILITIES		
Lease liabilities	4,000	4,000
Borrowings	2,074,727	2,074,727
Employee related provisions	142,761	142,761
TOTAL NON-CURRENT LIABILITIES	2,221,488	2,221,488
TOTAL LIABILITIES	7,267,532	7,879,598
NET ASSETS	332,082,556	330,619,397
EQUITY		
Retained surplus	200,667,835	199,148,981
Reserve accounts	4,753,481	4,774,280
Revaluation surplus	126,661,240	126,661,239
TOTAL EQUITY	332,082,556	330,584,500

This statement is to be read in conjunction with the accompanying notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MARCH 2024**

1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supporting information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies appears at Note 14 to these financial statements.

Judgements and estimates

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation of fair values of land and buildings, infrastructure and investment property
- estimation uncertainties made in relation to lease accounting
- estimated useful life of intangible assets

SIGNIFICANT ACCOUNTING POLICES

Significant accounting policies utilised in the preparation of these statements are as described within the 2023-24 Annual Budget. Please refer to the adopted budget document for details of these policies.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 08 May 2024

SHIRE OF DANDARAGAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MARCH 2024

2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION

		Amended Budget Opening	Last Year Closing	Year to Date
(a) Net current assets used in the Statement of Financial Activity	Supplementary Information	30 June 2023	30 June 2023	31 March 2024
Current assets		\$	\$	\$
Cash and cash equivalents	1	7,104,058	8,937,592	8,843,485
Trade and other receivables		821,551	2,369,979	1,846,249
Other financial assets		22,717	21,478	564
Inventories	6	54,961	54,945	14,425
		8,003,287	11,383,994	10,704,723
Less: current liabilities				
Trade and other payables	7	(316,358)	(603,345)	(1,298,248)
Other liabilities	11	(1,898,942)	(3,572,360)	(3,951,911)
Lease liabilities	10	(38,116)	(31,335)	(7,055)
Borrowings	9	(168,074)	(166,295)	(74,858)
Employee related provisions	11	(519,719)	(672,709)	(326,038)
		(2,941,209)	(5,046,044)	(5,658,110)
Net current assets		5,062,078	6,337,950	5,046,613
Less: Total adjustments to net current assets	Note 2(c)	(4,049,899)	(4,577,329)	(4,510,670)
Closing funding surplus / (deficit)		1,012,179	1,760,621	535,943

(b) Non-cash amounts excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

		Amended Budget	YTD Budget (a)	YTD Actual (b)
Non-cash amounts excluded from operating activities		\$	\$	\$
Adjustments to operating activities				
Less: Profit on asset disposals	4	(826,448)	(44,479)	(35,010)
Add: Loss on asset disposals	4	7,931	5,287	0
Add: Depreciation		8,136,024	5,424,016	6,330,680
Total non-cash amounts excluded from operating activities		7,317,507	5,384,824	6,295,670

(c) Current assets and liabilities excluded from budgeted deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

		Amended Budget Opening	Last Year Closing	Year to Date
Adjustments to net current assets		30 June 2023	30 June 2023	31 March 2024
		\$	\$	\$
Less: Reserve accounts	2	(4,753,091)	(4,753,481)	(4,774,280)
Less: Financial assets at amortised cost - self supporting loans	6	(22,717)	(21,478)	(564)
Add: Current liabilities not expected to be cleared at the end of the year:				
- Current portion of borrowings	9	168,074	166,295	74,858
- Current portion of lease liabilities	10	38,116	31,335	7,055
- Current portion of employee benefit provisions held in reserve	2	519,719	0	182,261
Total adjustments to net current assets	Note 2(a)	(4,049,899)	(4,577,329)	(4,510,670)

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

SHIRE OF DANDARAGAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MARCH 2024

3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2023-24 year is \$10,000 and 10.00% whichever is the greater.

Description	Var. \$	Var. %	
	\$	%	
Revenue from operating activities			
Grants, subsidies and contributions	(199,172)	(25.36%)	▼
Delay in MAF and acquittal of small grant revenue		Timing	
Interest revenue	(20,014)	(28.80%)	▼
Reserve Interest maturity date not reached		Timing	
Expenditure from operating activities			
Utility charges	(40,722)	(15.40%)	▼
Timing of invoices received		Timing	
Depreciation	(906,664)	(16.72%)	▼
Higher due to early purchase of plant and under budgeted		Permanent	
Finance costs	10,189	37.45%	▲
Reduction in lease interest		Permanent	
Non-cash amounts excluded from operating activities	910,846	16.92%	▲
As above relating to depreciation		Permanent	
Inflows from investing activities			
Proceeds from capital grants, subsidies and contributions	834,440	47.64%	▲
Agaton Road Acquittal completed		Timing	
Proceeds from disposal of assets	(22,636)	(14.51%)	▼
Reduced price on trade in vehicles		Permanent	
Outflows from investing activities			
Payments for property, plant and equipment	(320,027)	(50.57%)	▼
Machinery purchases completed		Timing	

SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION

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**SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 MARCH 2024**

1 CASH AND FINANCIAL ASSETS

Description	Classification	Unrestricted	Restricted	Total Cash	Trust	Institution	Interest Rate	Maturity Date	
		\$	\$	\$	\$				
Municipal Bank Account	Cash and cash equivalents	216,566	0	216,566		Bankwest	0.00%	Ongoing	
Telenet Bank Account	Cash and cash equivalents	(301,908)	3,951,908	3,650,000		Bankwest	3.25%	Ongoing	
Trust Bank Account	Cash and cash equivalents	0	200,277	200,277		Bankwest	0.00%	Ongoing	
Petty Cash	Cash and cash equivalents	2,360	0	2,360			Nil	On hand	
Reserve Account	Cash and cash equivalents	0	974,281	974,281		Bankwest	2.50%	Ongoing	
Reserve Term Deposit	Cash and cash equivalents	0	3,800,000	3,800,000		Bankwest	4.90%	04-Jun-24	
Total		(82,982)	8,926,466	8,843,485	0				
Comprising									
Cash and cash equivalents		(82,982)	8,926,466	8,843,485	0				
		(82,982)	8,926,466	8,843,485	0				

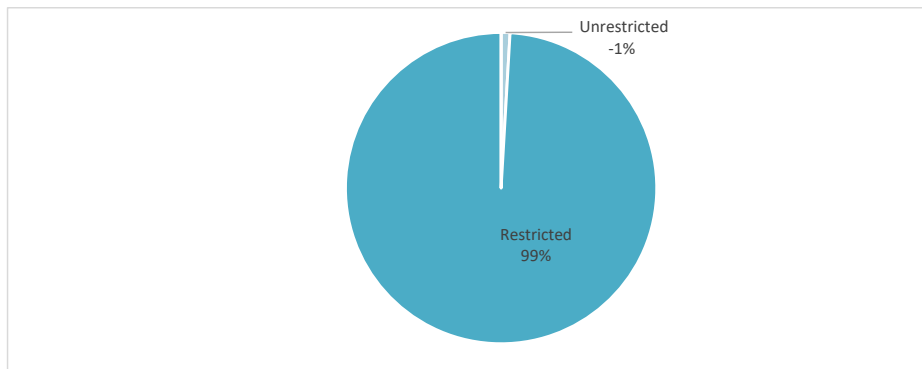
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other



SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 31 MARCH 2024

2 RESERVE ACCOUNTS

Reserve name	Budget	Budget	Budget	Budget	Budget	Actual	Actual	Actual	Actual	Actual YTD
	Opening	Interest	Transfer	Transfers	Closing	Opening	Interest	Transfers	Transfer	Closing
	Balance	Earned	s In (+)	Out (-)	Balance	Balance	Earned	In (+)	s Out (-)	Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by Council										
Leave reserve	181,452	8,317			189,769	181,467	794			182,261
Plant reserve	361,226	8,135		(275,000)	94,361	361,255	1,581			362,836
Building reserve	598,905	25,289	6,516		630,710	598,954	2,621			601,575
Rubbish reserve	437,207	13,878		(167,940)	283,145	437,243	1,913			439,156
Community Centre reserve	408,054	12,386	6,000		426,440	408,087	1,786			409,873
Television Services Reserve	53,126	3,121			56,247	53,130	233			53,363
Information Technology Reserve	57,392	1,820			59,212	57,397	251			57,648
Land Development Reserve	71,125	2,257			73,382	71,131	311			71,442
Parking Requirements (L1154 SandpiperSt) Reserve	11,480	364			11,844	11,481	50			11,531
Parks & Rec. Grounds (Seagate) Reserve	151,042	12,030			163,072	151,055	660			151,715
Sport and Recreation Reserve	96,342	9,928		(87,059)	19,211	96,349	422			96,771
Landscaping Reserve	2,664	91			2,755	2,664	12			2,676
Aerodrome Reserve	178,385	4,131	22,442	(50,000)	154,958	178,400	780			179,180
Public Open Space Renewal Reserve	212,635	17,845		(27,421)	203,059	212,652	931			213,583
Infrastructure Renewal Reserve	703,244	25,962			729,206	703,302	3,077			706,379
Public Open Space Construction Reserve	9,446	3,613			13,059	9,447	41			9,488
Infrastructure Construction Reserve	146,669	1,993			148,662	146,681	642			147,323
Building Construction Reserve	26,870	3,713			30,583	26,872	118			26,990
Economic Development Reserve	648,889	25,380	849,860	(26,745)	1,497,384	648,942	2,839			651,781
Turquoise Way Path Reserve	52,105	1,656			53,761	52,110	228			52,338
Cash in Lieu of Landscaping-Lot1146 Sandpiper St	2,511	91			2,602	2,511	11			2,522
WALGGC Roads Component Overpayment	73,705			(73,686)	19	73,711	322			74,033
Cervantes Community Infrastructure Development	268,618			(30,000)	238,618	268,640	1,176			269,816
	4,753,091	182,000	884,818	(737,851)	5,082,058	4,753,481	20,799	0	0	4,774,280

3 CAPITAL ACQUISITIONS

Capital acquisitions	Amended		YTD Actual	YTD Actual Variance
	Budget	YTD Budget		
	\$	\$	\$	\$
Buildings	1,751,456	206,821	221,880	15,059
Furniture and equipment	85,000	85,000	1,000	(84,000)
Plant and equipment	1,062,312	340,993	729,961	388,968
Acquisition of property, plant and equipment	2,898,768	632,814	952,841	320,027
Infrastructure - roads	7,286,180	2,428,727	3,267,071	838,344
Infrastructure - Parks and Reserves	133,800	133,800	0	(133,800)
Infrastructure - Other	752,490	752,490	247,262	(505,228)
Acquisition of infrastructure	8,172,470	3,315,017	3,514,334	839,371
Total capital acquisitions	11,071,238	3,947,831	4,467,175	1,159,398
Capital Acquisitions Funded By:				
Capital grants and contributions	8,475,271	1,751,380	2,585,820	834,440
Borrowings	432,000	0	0	0
Other	1,633,860	156,000	133,364	(22,636)
Reserve accounts				
Plant reserve	275,000	0	0	0
Rubbish reserve	167,940	0	0	0
Sport and Recreation Reserve	87,059	0	0	0
Aerodrome Reserve	50,000	0	0	0
Public Open Space Renewal Reserve	27,421	0	0	0
Economic Development Reserve	26,745	0	0	0
Cervantes Community Infrastructure Development	30,000	0	0	0
Contribution - operations	(134,058)	2,040,451	1,747,991	(292,460)
Capital funding total	11,071,238	3,947,831	4,467,175	519,344

SIGNIFICANT ACCOUNTING POLICIES

Each class of fixed assets within either plant and equipment or infrastructure, is carried at cost or fair value as indicated less, where applicable, any accumulated depreciation and impairment losses.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Financial Management Regulation 17A (5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

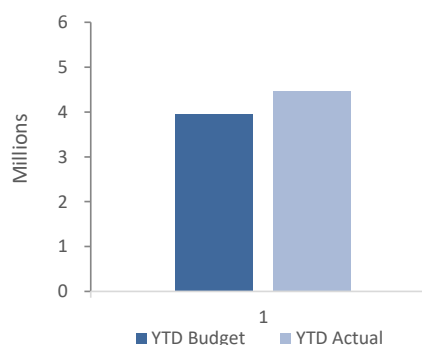
Initial recognition and measurement for assets held at cost

Plant and equipment including furniture and equipment is recognised at cost on acquisition in accordance with *Financial Management Regulation 17A*. Where acquired at no cost the asset is initially recognise at fair value. Assets held at cost are depreciated and assessed for impairment annually.

Initial recognition and measurement between mandatory revaluation dates for assets held at fair value

In relation to this initial measurement, cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads.

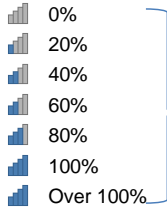
Payments for Capital Acquisitions



3 CAPITAL ACQUISITIONS - DETAILED

Capital expenditure total

Level of completion indicators



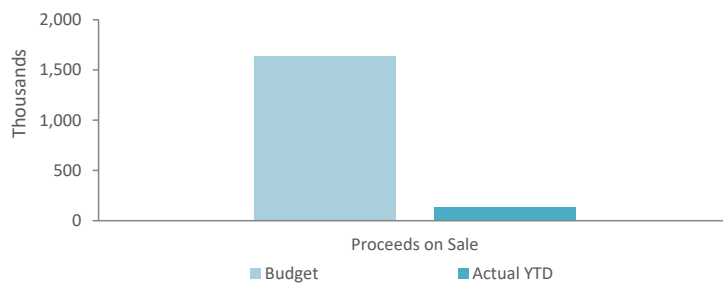
Percentage Year to Date Actual to Annual Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

Project Description	Amended			Variance (Under)/Over
	Budget	YTD Budget	YTD Actual	
	\$	\$	\$	\$
JURIEN IRRIGATION PROJECT	133,800	133,800	0	133,800
JURIEN BAY EAST WEST RUNWAY	500,000	500,000	0	500,000
JURIEN TIP CELL FENCE	70,000	70,000	63,933	6,067
CERVANTES NICHE WALL CONSTRUCTION	5,000	5,000	4,800	200
JB TIP ROAD TO NEW CELL	97,490	97,490	32,766	64,724
JB AIRSTRIP LIGHTING, CONES & ELECTRIC FENCE	30,000	30,000	0	30,000
EW RUNWAY DEVELOPMENT PROJECTS	50,000	50,000	0	50,000
PIONEER PARK DANDARAGAN - FENCE, SHELTER, SEATING	0	0	267	(267)
SANDY CAPE REPLACEMENT OF TOILET BLOCK	47,341	47,341	45,387	1,954
BADGINGARRA AMENITIES - REPLACE	53,615	53,615	53,646	(31)
JURIEN BAY ADMINISTRATION CENTRE REFURB	500,000	500,000	168,139	331,861
CONVERT JURIEN DEPOT OFFICE INTO ARCHIVES ROOM	30,000	30,000	21,607	8,393
JURIEN BAY AIRSTRIP TOILET - EXTERNAL REPAIR	8,500	8,500	3,218	5,282
WELLNESS CENTRE - EXTERNAL REPAIR	7,000	7,000	5,928	1,072
2 YORK STREET - RE-ROOF SHED, UPGRADE STORMWATER	9,000	9,000	8,569	431
CERVANTES CCRC - EXTERNAL REPAIR	8,000	8,000	0	8,000
MEMORIAL PARK TOILET BLOCK - EXTERNAL REPAIR	8,000	8,000	5,992	2,008
CERVANTES CCRC - HI-BAY LED LIGHT CONVERSION	15,000	15,000	0	15,000
JURIEN BAY FORESHORE TRANSFORMER FIRE WALL	45,000	45,000	0	45,000
RESIDENCE 1 3X1 21 TOPHAM STREET, DANDARAGAN	292,500	292,500	0	292,500
TRANSPORTABLE RESIDENCE 2 2X1 8 HARRIS STREET	232,500	232,500	0	232,500
WORKERS COTTAGE 2X2 - SHARED LIVING SPACE 8 HARRIS	247,500	247,500	0	247,500
NEW DEPOT AMENITIES / 2X1 WITH CARETAKERS WING	247,500	247,500	0	247,500
PLAYGROUND PARTIAL REPLACEMENT - WELD PARK	85,000	85,000	1,000	84,000
KAYANABA ROAD	12,500	12,500	0	12,500
STOCKYARD ROAD	125,763	125,763	6,410	119,353
CANTABILLING ROAD	45,794	45,794	46,050	(256)
HARRIS STREET	65,683	65,683	50,074	15,609
SANDY CAPE ROAD	150,000	150,000	0	150,000
GILLINGARRA ROAD	425,000	425,000	43,089	381,911
BIBBY ROAD	155,867	155,867	165,294	(9,427)
JURIEN EAST ROAD	545,076	545,076	530,514	14,562
JURIEN EAST ROAD	795,781	795,781	133,601	662,179
CATABY ROAD	120,000	120,000	128,285	(8,285)
CATABY ROAD	490,000	490,000	449,175	40,825
DANDARAGAN ROAD	130,000	130,000	157,067	(27,067)
DANDARAGAN ROAD	630,000	630,000	602,106	27,894
AGATON ROAD	3,003,984	3,003,984	1,745,774	1,258,210
MUNBINEA ROAD	194,902	194,902	233,300	(38,398)
MUNBINEA ROAD	184,967	184,967	137,651	47,316
BIBBY ROAD	210,863	210,863	183,415	27,448
	10,008,926	10,008,926	5,027,056	4,981,870

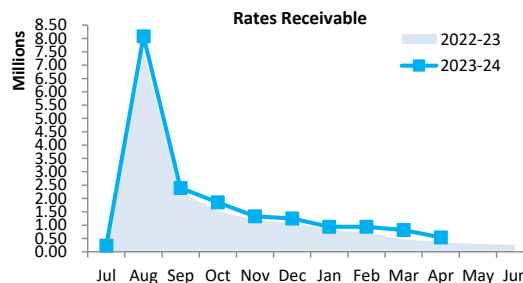
4 DISPOSAL OF ASSETS

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
Land & Buildings									
	3494 Dandaragan Rd Lot 102 FA2511	166,883	198,000	31,117	0			0	0
	3490 Dandaragan Rd Lot 101 FA2509	128,412	195,000	66,588	0			0	0
	3486 Dandaragan Rd Lot 7 FA2509	102,836	195,000	92,164	0			0	0
	17 Doust Street Lot116 FA2521	140,000	410,425	270,425	0			0	0
	19 Doust Street Lot115 FA2520	140,000	439,435	299,435	0			0	0
Plant and equipment									
	Volvo L70C FA2020 PCL004	0	25,000	25,000	0			0	0
	Iveco Powerstar 7200 FA2532 PTH014	37,931	30,000	0	(7,931)	21,552	27,000	5,448	0
	Holden Space Cab FA2533 PLV236	0	10,000	10,000	0	4,489	6,364	1,875	0
	Holden Space Cab FA2540 PLV238	8,681	12,000	3,319	0	4,940	8,182	3,242	0
	Toyota Hilux FA2993 PLV239	6,500	15,000	8,500	0			0	0
	Mazda CX5 FA2995 PLV240	7,926	19,000	11,074	0	6,631	9,091	2,460	0
	Toyota Hilux FA2996 PLV243	6,500	15,000	8,500	0	4,442	12,727	8,285	0
	Prado FA3242 PLV267	44,724	50,000	5,276	0	42,771	50,000	7,229	0
	Toyota Corolla FA3155 PLV264	14,325	20,000	5,675	0	13,529	20,000	6,471	0
		804,718	1,633,860	837,073	(7,931)	98,354	133,364	35,010	0



5 RECEIVABLES

Rates receivable	30 June 2023	31 Mar 2024
	\$	\$
Opening arrears previous years	273,096	273,096
Levied this year	7,043,329	7,385,277
Less - collections to date	(7,043,329)	(7,117,611)
Gross rates collectable	273,096	540,762
Net rates collectable	273,096	540,762
% Collected	96.3%	92.9%



Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	0	1,047,292	93,999	28,836	136,779	1,306,905
Percentage	0.0%	80.1%	7.2%	2.2%	10.5%	

Balance per trial balance

Trade and other receivables	1,306,905
Allowance for credit losses of trade receivables	(1,418)
Total receivables general outstanding	1,305,487

Amounts shown above include GST (where applicable)

KEY INFORMATION

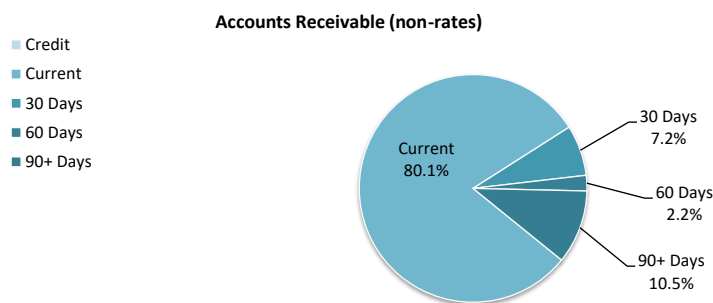
Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



6 OTHER CURRENT ASSETS

Other current assets	Opening Balance 1 July 2023	Asset Increase	Asset Reduction	Closing Balance 31 March 2024
	\$	\$	\$	\$
Other financial assets at amortised cost				
Financial assets at amortised cost - self supporting loans	21,478		(20,914)	564
Inventory				
Stock on Hand - Fuel	54,945	219,443	(259,963)	14,425
Total other current assets	76,423	219,443	(280,877)	14,989

Amounts shown above include GST (where applicable)

KEY INFORMATION

Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Inventory

Inventories are measured at the lower of cost and net realisable value.
 Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

7 PAYABLES

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	736,038	63,276	28,056	32,547	859,917
Percentage	0.0%	85.6%	7.4%	3.3%	3.8%	

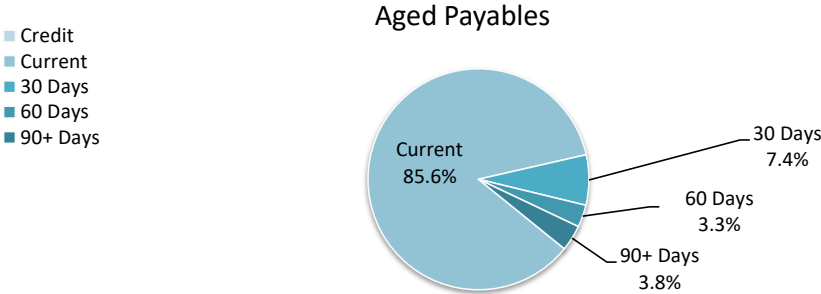
Balance per trial balance

Sundry creditors	859,917
Accrued salaries and wages	70,282
ATO liabilities	(2,325)
Other payables	78,495
Bonds and deposits held	206,536
Accrued interest on borrowings	8,759
Prepaid rates	76,584
Total payables general outstanding	1,298,248

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



8 RATE REVENUE

General rate revenue

RATE TYPE	Rate in	Number of	Rateable	Rate	Budget	Total	Rate	YTD Actual	Total
	\$ (cents)	Properties	Value	Revenue	Interim	Revenue	Revenue	Interim	Revenue
				\$	\$	\$	\$	\$	\$
Gross rental value									
GRV - General	9.2480	1,942	32,790,045	3,032,424		3,032,424	3,039,760	13,774	3,053,534
Unimproved value									
UV - General	0.5439	434	609,050,285	3,312,625		3,312,625	3,312,423	(2,252)	3,310,171
Sub-Total		2,376	641,840,330	6,345,049	0	6,345,049	6,352,183	11,522	6,363,705
Minimum payment									
					Minimum Payment \$				
Gross rental value									
GRV - General	1,090	938	5,193,585	1,022,420		1,022,420	1,019,150		1,019,150
GRV - Lesser Minimum - Dandaragan & Badgingarra	822	37	113,876	30,414		30,414	29,592		29,592
Unimproved value									
UV - General	607	421	32,283,424	255,547		255,547	252,847		252,847
Sub-total		1,396	37,590,885	1,308,381	0	1,308,381	1,301,589	0	1,301,589
Discount						(270,000)			(287,023)
Amount from general rates						7,383,430			7,378,271
Ex-gratia rates						8,500			7,006
Total general rates						7,391,930			7,385,277

9 BORROWINGS

Repayments - borrowings

Information on borrowings	Loan No.	New Loans			Principal Repayments		Principal Outstanding		Interest Repayments	
		1 July 2023	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
Particulars		\$	\$	\$	\$	\$	\$	\$	\$	\$
Dandaragan House GROH	136	553,671			(30,309)	(60,887)	523,363	492,784	(4,935)	(9,599)
Jurein Bay Foreshore	137	1,411,603			(30,208)	(60,796)	1,381,395	1,350,807	(17,723)	(35,066)
Jurien Bay Depot Building	138	215,269			(11,784)	(23,673)	203,485	191,596	(1,919)	(3,732)
Proposed Dandaragan Housing	New			432,000		0	0	432,000		0
		2,180,544	0	432,000	(72,301)	(145,357)	2,108,243	2,467,187	(24,576)	(48,397)
Self supporting loans										
Jurien Bay Preogress Association	133	22,489	0	0	(7,312)	(7,312)	15,176	15,177	(279)	(513)
Jurien Bay Mens Shed	134	12,788	0	0	(1,791)	(3,594)	10,997	9,194	(84)	(157)
Badgingarra Bowling Club	135	25,202	0	0	(10,032)	(10,032)	15,170	15,170	(147)	(147)
		60,478	0	0	(19,135)	(20,938)	41,343	39,540	(510)	(817)
Total		2,241,022	0	432,000	(91,436)	(166,295)	2,149,586	2,506,727	(25,086)	(49,214)
Current borrowings		166,295					74,858			
Non-current borrowings		2,074,727					2,074,728			
		2,241,022					2,149,586			

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

KEY INFORMATION

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature. Non-current borrowings fair values are based on discounted cash flows using a current borrowing rate.

10 LEASE LIABILITIES

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2023	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Photocopier Lease	Ricoh	16,755			(8,987)	(15,482)	7,768	1,273	(230)	(409)
Water Filter Lease	Waterlogic	32,854			(15,293)	(15,829)	17,561	17,025	(231)	(288)
Total		49,609	0	0	(24,280)	(31,311)	25,329	18,298	(461)	(697)
Current lease liabilities		31,335					7,055			
Non-current lease liabilities		4,000					4,000			
		35,335					11,055			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is or contains a lease, if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

11 OTHER CURRENT LIABILITIES

	Note	Opening Balance 1 July 2023	Liability transferred from/(to) non current	Liability Increase	Liability Reduction	Closing Balance 31 March 2024
		\$	\$	\$	\$	\$
Other current liabilities						
Other liabilities						
Contract liabilities		154,209	0	713,343	(494,853)	372,699
Capital grant/contributions liabilities		3,418,151	0	2,746,882	(2,585,821)	3,579,212
Total other liabilities		3,572,360	0	3,460,225	(3,080,674)	3,951,911
Employee Related Provisions						
Provision for annual leave		347,710	0		(292,624)	55,086
Provision for long service leave		324,999	0		(54,047)	270,952
Total Provisions		672,709	0	0	(346,671)	326,038
Total other current liabilities		4,245,069	0	3,460,225	(3,427,345)	4,277,949

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movements is provided on the following pages at Note 12 and 13

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Provisions are assessed and updated at the end of the financial year.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

12 GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue		
	Liability	Increase in Liability	Decrease in Liability (As revenue)	Liability	Current Liability	Amended Budget	YTD Budget	YTD Revenue
	1 July 2023			31 Mar 2024	31 Mar 2024	Revenue	Budget	Actual
	\$	\$	\$	\$	\$	\$	\$	\$
Grants and subsidies (Operating)								
Grants Commission - General		31,292	(31,292)	0				31,292
Grants Commission - roads		28,629	(28,629)	0				28,629
ESL Operating Grant		42,000	(42,000)	0		56,000	56,000	42,000
ESL Operating Grant - BF Insurance				0		20,131	20,131	
Mitigation Activity Fund Grant	46,940		(3,035)	43,905	43,905	46,940	46,940	3,035
Mitigation Activity Fund 22/23 Round 2 - Instalment 2		100,395		100,395	100,395	121,250	121,250	
Mitigation Activity Fund 23/24 Round 2 - Instalment 1		86,146		86,146	86,146			
DLGSCI - BEN sign grant	6,209			6,209	6,209	6,209	6,209	
Inundation - management plan		25,000	(25,000)	0		25,000	25,000	25,000
Design of Cervantes North Foreshore				0		84,293	84,293	
CHRMAP	25,000			25,000	25,000	25,000	25,000	
Every Club Grant	7,322			7,322	7,322	7,322	7,322	
Every Club Grant - Year 2		7,322		7,322	7,322	7,322	7,322	
Karda Mountain Bike Trail	20,000		(20,000)	0		20,000	20,000	20,000
Spray the Grey - Dept of Communities		3,000	(3,000)	0				3,000
Spray the Grey - Healthway		3,000		3,000	3,000			
Spray the Grey - Lotterywest		5,000		5,000	5,000			
Community Stewardship - State NRM				0		27,800	27,800	
Community Stewardship Grant - Gingin & Coorow				0		24,000	24,000	24,000
Community Stewardship Grant - FY23	44,200	24,000	(24,000)	44,200	44,200	44,200	44,200	
Community Stewardship Grant - FY24		44,200		44,200	44,200	44,200	44,200	
Technology and Digital Inclusion Grant	4,538		(4,538)	0		4,538	4,538	4,538
MRWA Direct Grant		309,421	(309,421)	0		302,750	302,750	309,421
Street Light Subsidy		3,938	(3,938)	0		3,400	3,400	3,938
	154,209	713,343	(494,853)	372,699	372,699	870,355	870,355	494,853
Contributions								
Contributions & Donations				0		37,650	25,100	21,931
Reimbursements				0		77,867	51,912	69,273
	0	0	0	0	0	115,517	77,012	91,204
TOTALS	154,209	713,343	(494,853)	372,699	372,699	985,872	947,367	586,057

13 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Capital grant/contribution liabilities				Capital grants, subsidies and contributions revenue			
	Liability	Increase in	Decrease in	Liability	Current	Amended	YTD	YTD
	1 July 2023	Liability	Liability	31 Mar 2024	Liability	Budget	Budget	Revenue
	\$	\$	\$	\$	\$	\$	\$	\$
Capital grants and subsidies								
Jurien Irrigation Project				0		66,900		
Lotterywest - Playground additions Cervantes Rec				0		50,000		
Local Roads and Comm Inf - Round 3	590,929			590,929	590,929	590,929		
Pioneer Park Dandaragan - Park and Playground				0		100,000		
Regional Road Group	550,546			550,546	550,546	550,546		
WSFN	108,337			108,337	108,337	108,337		
WSFN - ROS008 & A	329,056			329,056	329,056	329,056		
WSFN - Jurien East Road ROS856				0		400,400		
WSFN - Jurien East Road ROS856A				0		756,000		
WABN - Cervantes	10,000		(10,000)	0		10,000		10,000
DoT RBN Grant - Cervantes Path	72,500		(72,500)	0		72,500		72,500
RRG Grant - Cataby Road - RRG001FS		78,033		78,033	78,033	75,333		
RRG Grant - Cataby Road - RRG001REC		261,334		261,334	261,334	326,667		
RRG Grant - Dandaragn Road - RRG002FS		68,000		68,000	68,000	68,000		
RRG Grant - Dandaragn Road - RRG002REC		336,000		336,000	336,000	420,000		
State Commodity Route Grant - Sandy Cape	87,900			87,900	87,900	87,900		
State Commodity Route Grant - Gillingarra Road		110,000		110,000	110,000	275,000		
Local Roads and Comm Inf - Stockyard Road		75,458		75,458	75,458	125,763		
Local Roads and Comm Inf - Cantabilling Road		27,476		27,476	27,476	45,794		
Local Roads and Comm Inf - Harris Road		40,249		40,249	40,249	67,083		
Local Roads and Comm Inf - Agaton Road		300,398		300,398	300,398	500,664		
Local Roads and Comm Inf - Bibby Road - RTR326A		21,972		21,972	21,972	36,619		
Local Roads and Comm Inf - Bibby Road - RTR326B		93,521		93,521	93,521	155,867		
RTR Grant - Munbinea Road - RTR004A				0		194,902		
RTR Grant - Munbinea Road - RTR004B				0		184,967		
RTR Grant - Bibby Road - RTR326A				0		174,244		
Remote Rural Upgrade Pilot - Agaton Road	1,668,880	834,440	(2,503,320)	0		2,503,320		2,503,320
Resilience Cyclone Serojia Fund		500,000		500,000	500,000	500,000		
	3,418,151	2,746,881	(2,585,821)	3,579,211	3,579,209	8,776,791	0	2,585,820

**SHIRE OF DANDARAGAN
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 31 MARCH 2024**

14 TRUST FUND

Funds held at balance date which are required by legislation to be credited to the trust fund and which are not included in the financial statements are as follows:

Description	Opening Balance 1 July 2023	Amount Received	Amount Paid	Closing Balance 31 Mar 2024
	\$	\$	\$	\$
Cash In Lieu POS - L9000 Valencia	200,277			200,277
	200,277	0	0	200,277



**ACCOUNTS FOR PAYMENT
FOR THE PERIOD ENDING**

31 March 2024

SUMMARY OF SCHEDULE OF ACCOUNTS MARCH 2024

<u>FUND</u>		<u>AMOUNT</u>
<u>MUNICIPAL FUND</u>		
CHEQUES	\$	474.40
EFT'S	\$	1,564,553.09
DIRECT DEBITS	\$	80,501.51
BPAY	\$	17,125.11
TOTAL	MUNICIPAL FUND	<u>\$ 1,662,654.11</u>

<u>TRUST FUND</u>		
CHEQUES		\$0.00
EFT'S		\$0.00
TRANSFER		\$0.00
TOTAL		<u>\$0.00</u>

Payment Details - Cheque

Payment / Invoice	Description	Amount
Cheque		
Cheque - 33851		
V82531		
PETTY CASH RE-COUP FEB 2024	Petty Cash re-coup	198.70
	Total V82531	198.70
	Total 33851	198.70
Cheque - 33852		
V82531		
PETTY CASH RECOUP MARCH 2024	Petty Cash ReCoup	275.70
	Total V82531	275.70
	Total 33852	275.70
	Grand Total - Cheque	474.40

Payment Details - EFT

Payment / Invoice	Description	Amount
EFT Payment		
EFT Payment - EFT01223		
V80021 - BOC Gases		
5006315024	Gas Bottle Hire	71.68
	Total V80021	71.68
V80102 - Westrac Equipment		
1750727	TRAVEL TO SITE AND CHECK AND REPAIR AIR CON	4,293.33
	Total V80102	4,293.33
V81699 - Cervantes Community Recreation Centre		
47A	CCC Contribution	12,150.00
	Total V81699	12,150.00
V81795 - Jurien Bay Community Resource Centre		
2533	Poster design	81.25
	Total V81795	81.25
V82362 - Jurien Auto Electrics		
Q0287	Aircon repair	100.00
	Total V82362	100.00
V82474 - Direct Contracting Pty Ltd		
2720	Cart 3000m3 of gravel to JB tip - 3 days or \$30,000 which ever comes first	31,790.00
	Total V82474	31,790.00
V82557 - Moora Toyota		
RI11100051	Purchase PLV276 Toyota Hilux Single Cab	56,793.70
	Total V82557	56,793.70
V83051 - Central West Building Pty Ltd		
159601	Shire Admin Refurbishment - Quote 593	31,520.50
	Total V83051	31,520.50
V83571 - Jurien Concrete Services		
3873	supply concrete for path repair	200.00
3870	New fuel station pad JB depot 3870	3,143.00
	Total V83571	3,343.00
V83817 - WCP Civil Pty Ltd		
30698	cement stabilise Dandaragan Rd slk 5.52 - 6.13	37,486.03
	Total V83817	37,486.03
V84004 - Department of Water and Environmental Regulation		
TF038142	Controlled Waste DEC tracking form	176.00
	Total V84004	176.00
V84155 - Jurien Home Hardware - (was Thrifty Link)		
23-00044357	Water tank parts	51.43
24-00001597	Cargo Net	103.55
DECEMBER 23	December Rangers	189.44
	Total V84155	344.42
V84568 - Ignite Electrical		
2856	New light controller at skate park	1,740.75
	Total V84568	1,740.75
V84612 - Water Technology Pty Ltd		
WT014345	Cervantes Coastal Resilience Scheme	28,253.94

Payment Details - EFT

Payment / Invoice	Description	Amount
	Total V84612	28,253.94
V84639 - Fegan Building Surveying		
1095	Building Surveying Leave Cover - 5-16 Feb 2024	1,540.00
	Total V84639	1,540.00
V84765 - Magnet Engineering Dandaragan Pty Ltd		
185	Plant - Parts & Repairs	360.80
	Total V84765	360.80
V84801 - Georgie Girl Florals		
38	6 x flower bouquets for IWD24	231.00
	Total V84801	231.00
V84802 - Bernhard Kaiser		
B04/24	Remake wooden sand mover for Nature play at foreshore	500.00
	Total V84802	500.00
V84857 - Ruby Repairs Pty Ltd		
107	Service truck 95,000klm	3,015.24
	Total V84857	3,015.24
V84912 - Dorothy Todd		
SANDY CAPE REFUND	Sandy Cape Refund	20.00
	Total V84912	20.00
	Total EFT01223	213,811.64
EFT Payment - EFT01229		
V80028 - Dandaragan Community Rec Club		
1171	Tronox / SOD Facilities Grant - replacement of lounge ceiling and lighting	11,000.00
	Total V80028	11,000.00
V80033 - Derricks Auto-Ag & Hardware Plus		
10336605	UHF RADIO KIT AND ANTENNA	635.00
	Total V80033	635.00
V80102 - Westrac Equipment		
9178067	FUEL CAP AND FUEL CAP FILTER	404.09
	Total V80102	404.09
V81097 - Australia Post		
1013071557	Postage & Freight	1,116.20
	Total V81097	1,116.20
V81172 - WA Hino Sales & Service		
303733	AIR CLEANER BOX ASSY	1,637.61
	Total V81172	1,637.61
V82474 - Direct Contracting Pty Ltd		
2734	Bibby Rd drainage - slk 19.93-20.10 (4 Corners) install new 3 x 900m barrels including subsoil drain	25,630.00
2735	Bibby Rd drainage - slk 21.15-21.55 (farmhouse) install drainage at 3 sections including all earthwo	22,588.50
2737	Munbinea Rd drainage slk 17.39-18.05 install culvert and sub soil drain	26,752.00

Payment Details - EFT

Payment / Invoice	Description	Amount
2736	Munbinea Rd drainage slk 15.15-15.39 install 4 x culverts and sub soil drain	16,610.00
2733	Jurien East Rd - batter works and minor widening as per estimate	83,710.00
	Total V82474	175,290.50
V82774 - T-Quip		
127897/12787	CASTOR WHEEL KITS	1,097.70
	Total V82774	1,097.70
V83143 - Totally Workwear - Joondalup		
7200443115	Uniform	213.90
	Total V83143	213.90
V83187 - Wayne Gibson (Cr)		
TRAVEL EXPENSES MARCH	Travel Expenses	526.40
	Total V83187	526.40
V83437 - Brook Marsh Pty Ltd		
30010694	Survey and set out of Gillingarra Rd. Pegs to be at 10.4m wide	4,822.02
	Total V83437	4,822.02
V84058 - Jurien Bay Medical Centre		
138859	Medical Pre- Placement	148.50
	Total V84058	148.50
V84524 - Hersey's Safety Pty Ltd		
S50501	SAFTEY ITEMS	268.84
	Total V84524	268.84
V84789 - Jurien Bay Mitre 10		
102000085	Quin PI patio timber	193.35
OUTSTANDING INVOICES	Outstanding Invoices	1,730.71
	Total V84789	1,924.06
V84922 - The Club Cervantes		
0004	23 November Council Meeting- Meeting room hire	330.00
	Total V84922	330.00
V84923 - D A Zohar		
REFUND SURRENDED TENEMENT	Refund Surrended Tenement	659.44
	Total V84923	659.44
V84924 - J Zohar		
REFUND SURRENDED TENEMENT	Refund Surrended Tenement	1,346.04
	Total V84924	1,346.04
	Total EFT01229	201,420.30

EFT Payment - EFT01226

V80033 - Derricks Auto-Ag & Hardware Plus

10335392	3FT H/TENS 5/8 UNC THREADED ROD &NUTS AND M14 BOLTS	69.00
10335472	ROLLER BEARINGS	156.00

Payment Details - EFT

Payment / Invoice	Description	Amount
10335790	Plant - Parts & Repairs	386.00
	Total V80033	611.00
V80043 - Jurien Bay IGA		
FEB ACCOUNT 2024	Dining and Refreshments	1,765.12
	Total V80043	1,765.12
V80163 - Badgingarra Community Assn		
2024#1	Badgy General Maintenance Contract 2023-24	4,581.69
	Total V80163	4,581.69
V80202 - Jurien Plumbing		
7817	Repair to main water supply in yard plus tap at water source	974.60
	Total V80202	974.60
V80279 - Jurien Sport and Recreation Centre		
691	Plates for IWD event	30.00
	Total V80279	30.00
V81002 - Landgate		
391735	Valuation Expenses	43.50
391623	Valuation Expenses	91.60
391480	Valuation Expenses	104.53
	Total V81002	239.63
V81837 - Watto's Rural Contracting		
2629	Supply of labour Hire	1,072.50
	Total V81837	1,072.50
V81924 - Team Global Express Pty Ltd		
647	Invoice PI74315	32.79
	Total V81924	32.79
V81973 - Fuel Distributors of WA Pty Ltd		
19102584	Diesel	32,977.05
	Total V81973	32,977.05
V82773 - Cookies Coastal Earthworks		
B171	Spreading mulch in swales [Dryandra]	1,500.00
	Total V82773	1,500.00
V82774 - T-Quip		
127517	ROLLER BRACKET KITS LEFT AND RIGHT HAND SIDES	578.75
	Total V82774	578.75
V83143 - Totally Workwear - Joondalup		
7200701761	Staff Uniform	399.75
	Total V83143	399.75
V83365 - Bitutek Pty Ltd		
7774	Asphalt Jurien East and Canover intersection	69,960.00
	Total V83365	69,960.00
V83495 - Dandaragan Store		
C56	Account Feb 2024	51.85
	Total V83495	51.85
V83705 - Telstra		

Payment Details - EFT

Payment / Invoice	Description	Amount
04169079 FEB 2024	Whispir SMS Service	1,044.27
	Total V83705	1,044.27
V83780 - Pinnacles Traffic Management Services		
225	Munbinea - Southern section	11,055.00
	Total V83780	11,055.00
V83925 - BookEasy Pty Ltd		
24188	BookEasy Fee 3.3% Commission or \$300min	330.00
	Total V83925	330.00
V84031 - Down to Earth Training & Assessing		
00040012	Basic Worksite Traffic Management & Traffic Controller Training	4,444.50
	Total V84031	4,444.50
V84117 - Vanguard Press		
41417	TC Visitor Guide distribution	58.50
	Total V84117	58.50
V84136 - J Bay Concreting		
381	Foot path repair along Carunna Road	2,365.00
	Total V84136	2,365.00
V84273 - Building And Energy		
BSL FEB 2024	Invoice PI74320	3,617.18
	Total V84273	3,617.18
V84311 - SEEK Limited		
700432629	Advertising Admin Payroll position	357.50
700435086	Advertising Club Development Officer	313.50
	Total V84311	671.00
V84470 - Iluka Resources Limited		
E7/02459 MINING CLAIM	E7/02459 Mining Claim	416.28
	Total V84470	416.28
V84762 - Peter Mair		
7	Transport for IWD	850.00
	Total V84762	850.00
V84800 - Wheatbelt Vet Services		
217/215216/144	Care of impounded dogs 0187-0191	433.80
	Total V84800	433.80
V84810 - Anthony Seymour		
REIMBURSEMENT MARCH	Reimbursement March	121.16
	Total V84810	121.16
V84825 - Sandpiper Bar & Grill		
1974	Food for March LEMC Meeting	330.00
	Total V84825	330.00
V84853 - Linkwest		
LW4547	Linkwest Mentorship Sessions	350.00
	Total V84853	350.00
V84854 - Jenovation		
2404	Catering for IWD	975.00
	Total V84854	975.00
V84899 - Advanced Lock and key		

Payment Details - EFT

Payment / Invoice	Description	Amount
92183	MLAK lock and 20 keys for Pavillion	1,177.00
	Total V84899	1,177.00
V84902 - Dust and Shine Cleaning		
2926561	Cleaning Admin Building	198.90
	Total V84902	198.90
V84904 - W.A Webb and Company		
4280	Replace bore pump - Badgy oval	6,942.44
	Total V84904	6,942.44
V84909 - Bailey Woodford		
001	Admin Building	585.00
	Total V84909	585.00
V84911 - SP & AL Kelly		
156	Supply gravel for the construction of Dandaragan Road.	22,929.98
	Total V84911	22,929.98
V84918 - D Doust & T Northcott		
REFUND PENSIONER REBATE	Refund Pensioner Rebate	25.44
	Total V84918	25.44
V84919 - Caroline Ashby		
SHIRE OF DANDARAGAN	Guest Speaker for IWD	1,500.00
	Total V84919	1,500.00
	Total EFT01226	175,195.18

EFT Payment - EFT01227

V80033 - Derricks Auto-Ag & Hardware Plus

10335918	FUEL METER	350.00
10335917	80MM FEMALE CAM LOCK & 80MM GALV NIPPLE	74.00
	Total V80033	424.00

V80352 - Zipform Pty Ltd

219286	2023/24 Instalment Reminder Notices - print, post, email and archive	1,400.31
	Total V80352	1,400.31

V81031 - AN & A Whybrow

4867	Rehab Pit for Jurien East Rd works	51,260.00
4868	Gravel Bibby	12,163.24
4868A	Gravel Bibby	0.01
	Total V81031	63,423.25

V81382 - Cervantes Hardware and Marine

187360	Handcleaner for workshop	123.20
187676	inv 187676 2 x boxes of grease cartridges	396.00
FEB 2024	Monthly for February \$100 per purchase	305.36
186380	Reducing Bush	19.95
187808	CCC rain water tank pumpHS60-08T	1,100.00
	Total V81382	1,944.51

V81506 - Afgri Equipment Australia Pty Ltd

2819591	travel and reseal rams,11000hrs service as per quote	7,781.76
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Payment Details - EFT

Payment / Invoice	Description	Amount
	Total V81506	7,781.76
V81555 - AC & KE Smith		
158	Environmental Grant 2023/24 The Farmer Gardner Project	3,631.89
	Total V81555	3,631.89
V81795 - Jurien Bay Community Resource Centre		
2560	Advertising Maintenance Grader Operator- Road Train Operator Craytales	126.50
	Total V81795	126.50
V81874 - Child Support		
PJ004300	PAY01 2024-19 - From Payroll	5.44
	Total V81874	5.44
V82351 - Jurien Bay Building		
1164	Pine tree roller door	4,016.00
	Total V82351	4,016.00
V83095 - Parkwood Hardware		
1717653	CCC inlet valves, handle, fittings asper quote Q25566	538.51
	Total V83095	538.51
V83634 - Woodlands Distributors & Agencies P/L		
0069	5 x cartons of compostable dog waste bags	917.40
	Total V83634	917.40
V84058 - Jurien Bay Medical Centre		
107888	Jurien Bay Medical Centre	152.35
108608	Materials and Contracts (ALL)	152.35
	Total V84058	304.70
V84371 - Nessa Hall - Nussy Cleaning Management Services		
8060	Fauntleroy Park BBQ Ablutions	7,259.29
	Total V84371	7,259.29
V84458 - Ray White Jurien Bay		
Staff Housing	Staff Housing	760.00
Staff Housing	Staff Housing	960.00
Staff Housing	Invoice PI74355	1,260.00
Staff Housing	Staff Housing	1,100.00
	Total V84458	4,080.00
V84599 - Maddi McDonald Cr		
TRAVEL EXPENSES	Travel Expenses	128.78
	Total V84599	128.78
V84789 - Jurien Bay Mitre 10		
101020677	March standing order building maintenance	65.60
101020399	Rangers - March	44.95
101020331	Monthly March	12.95
	Total V84789	123.50
V84800 - Wheatbelt Vet Services		

Payment Details - EFT

Payment / Invoice	Description	Amount
189/187/190	Care of impounded dogs	264.00
	Total V84800	264.00
V84917 - DJ Fforde		
Refund of Rebate	Refund of Pensioner Rebate	508.64
	Total V84917	508.64
V84920 - Bettyvan		
00001	Betty Van for IWD	466.50
	Total V84920	466.50
	Total EFT01227	97,344.98
<hr/>		
EFT Payment - EFT01228		
V80033 - Derricks Auto-Ag & Hardware Plus		
10331765	50mm joiner and sprinkler adjuster	152.00
10336363	CAM LOCK FITTINGS	138.00
	Total V80033	290.00
V81352 - Jurien Signs		
7176	Rural Street Numbering - #25	35.00
	Total V81352	35.00
V82028 - Avon Waste		
61674	Invoice PI74387	16,694.22
	Total V82028	16,694.22
V82474 - Direct Contracting Pty Ltd		
2731	Jurien East Rd - batter works and minor widening	93,500.00
	Total V82474	93,500.00
V82643 - Officeworks Business Direct		
612591343/612742512	Printing and Stationery	230.32
613106597	Printing and Stationery Archive Boxes	204.90
613102351	Printing and Stationery	798.95
611919511	Postage & Freight	18.95
	Total V82643	1,253.12
V82774 - T-Quip		
127672	LEFT & RIGHT ROLLER BRACKET KITS & BUSHES & BUSHES & ADJUSTER BOLTS	746.60
	Total V82774	746.60
V83121 - Dandaragan Community Resource Centre Inc		
125412	Pioneer Park/ Dand Depot Cleaning	1,756.22
	Total V83121	1,756.22
V83437 - Brook Marsh Pty Ltd		
30010696	Survey for Dandaragan Rd	1,449.25
	Total V83437	1,449.25
V83780 - Pinnacles Traffic Management Services		
226	Munbinea - Southern section	12,137.13
224	Traffic control for Dandaragan Rd	3,267.00
	Total V83780	15,404.13
V83926 - Alcolizer Technology		
292277	HH3 calibration & return delivery	188.10
	Total V83926	188.10

Payment Details - EFT

Payment / Invoice	Description	Amount
V83962 - Graeme Gardner		
REIMBURSEMENT FOR DOG SPRAY	Pound Operating Costs - Dog Spray	172.85
	Total V83962	172.85
V84004 - Department of Water and Environmental Regulation		
TF038510	Controlled Waste DEC 13 March	132.00
	Total V84004	132.00
V84153 - BGM Electrical Pty Ltd		
1149	Service bore panels for SPs (annual)	621.93
	Total V84153	621.93
V84239 - Calkay Pty Ltd		
32453	Fall arrest certification - Shire Admin	6,270.00
	Total V84239	6,270.00
V84702 - Turquoise Coast Mechanical		
126	service retic ute	545.00
	Total V84702	545.00
V84736 - Rhiarn Sutton		
REIMBURSEMENT MARCH 2024	Library Training Lunch/WWC	150.00
	Total V84736	150.00
V84857 - Ruby Repairs Pty Ltd		
136	Plant and Parts Repairs to Hono Truck DN006 Jurien Bay Depot	2,512.97
	Total V84857	2,512.97
V84897 - LA & NC Glenn		
ROLLER OPERATION MARCH 2024	26 Hours of Labour hire	1,040.00
	Total V84897	1,040.00
V84898 - Road and Traffic Services Pty Ltd		
9026	Line Marking slk 0-3	66,750.27
	Total V84898	66,750.27
	Total EFT01228	209,511.66
EFT Payment - EFT01230		
V80121 - Kleenheat Gas Pty Ltd		
716792 A	Gas Bottle	116.78
	Total V80121	116.78
V80150 - RDI Transport		
7511	SC Gas North BBQ Area	190.00
	Total V80150	190.00
V81031 - AN & A Whybrow		
4871	Push gravel for Jurien East Rd	20,020.00
	Total V81031	20,020.00
V81343 - Dandaragan Mechanical Services		
11454	12V BATTERY	141.95
	Total V81343	141.95
V81352 - Jurien Signs		

Payment Details - EFT

Payment / Invoice	Description	Amount
7181	Unisex Toilet MLAK access signage for JB Foreshore Ablutions	165.00
	Total V81352	165.00
V81374 - Building and Construction Industry Training Fund		
BCITF 220370	BCITF	2,577.99
	Total V81374	2,577.99
V81382 - Cervantes Hardware and Marine		
187661	Mainline repair Cervantes oval	146.19
187668	Cervantes oval	340.25
187639	New bore materials	506.33
187992	Suction line Cervantes oval	724.90
188001	oval spare parts replaced	277.20
	Total V81382	1,994.87
V81696 - Shire Of Gingin		
1560	Contribution to BRMC program inv 1560	47,747.48
	Total V81696	47,747.48
V81731 - Local Government Works Association Western Australia Incorporated		
3163	Staff Training	1,540.00
	Total V81731	1,540.00
V81924 - Team Global Express Pty Ltd		
648	Postage & Freight	196.71
	Total V81924	196.71
V82025 - Northlea Homes		
VERGE BOND 35 PADBURY STREET	Verge Bond	1,000.00
	Total V82025	1,000.00
V82228 - Marketforce Pty Ltd		
42814	TCVC website hosting and support	1,914.00
	Total V82228	1,914.00
V82256 - Lowman Engineering		
5426	tow hitch quad bike	280.00
	Total V82256	280.00
V82474 - Direct Contracting Pty Ltd		
2738	Jurien East Rd - batter works and minor widening	8,242.23
	Total V82474	8,242.23
V83365 - Bitutek Pty Ltd		
7787	Shire of Dandaragan 2023-24 Sealing Program	105,737.85
	Total V83365	105,737.85
V83385 - Jurien Bay Panel & Paint Pty Ltd		
6125	Door strap	464.04
	Total V83385	464.04
V84070 - Elite Builders Jurien Bay		
10 EUCALYPT WAY JURIEN BAY	Verge Bonds	1,000.00
	Total V84070	1,000.00
V84136 - J Bay Concreting		
384	Install bollards south of beachridge	990.00
	Total V84136	990.00

Payment Details - EFT

Payment / Invoice	Description	Amount
V84327 - Lyall Ward		
20	Waste Management	2,112.00
	Total V84327	2,112.00
V84409 - Trend Developments Pty Ltd		
VERGE BOND	Verge Bond	1,000.00
	Total V84409	1,000.00
V84422 - Jurien Tyre & Auto		
65968	General Service DN000 - Prado	570.08
	Total V84422	570.08
V84458 - Ray White Jurien Bay		
Staff Housing	Staff Housing	760.00
Staff Housing	Staff Housing	960.00
Staff Housing	Staff Housing	1,260.00
Staff Housing	Staff Housing	1,100.00
Staff Housing	Water Usage	105.46
	Total V84458	4,185.46
V84524 - Hersey's Safety Pty Ltd		
83820	1 box of busman flyspray	192.50
	Total V84524	192.50
V84568 - Ignite Electrical		
2888	Run power to new fuel station JB depot	3,093.86
	Total V84568	3,093.86
V84612 - Water Technology Pty Ltd		
WT014519	Cervantes Coastal Resilience Scheme	11,651.75
	Total V84612	11,651.75
V84789 - Jurien Bay Mitre 10		
OUTSTANDING INVOICES 2	Materials and Contracts (ALL)	138.85
	Total V84789	138.85
V84842 - GPS Linemarking		
4415	Jurien Bay - line mark afl and hockey on same field	3,707.00
	Total V84842	3,707.00
V84850 - Tractus Moora		
3001350	FIT ROLLER TYRE TO RIM	55.58
	Total V84850	55.58
V84909 - Bailey Woodford		
002	Contract Cleaning 05/03-14/03	990.00
	Total V84909	990.00
V84925 - Reds Productions Pty Ltd		
0009	Snake and reptile handling - RMO	450.00
	Total V84925	450.00
V84926 - Vele Burn Pty Ltd		
VERGE BOND	Verge Bond	1,000.00
	Total V84926	1,000.00
	Total EFT01230	223,465.98

Payment Details - EFT

Payment / Invoice	Description	Amount
EFT Payment - EFT01225		
V80150 - RDI Transport		
7311	Delivery of wheelie bin wheels	38.61
7194	Workman signage delivery	130.00
	Total V80150	168.61
V81480 - Jurien Bay Service Station & Roadhouse		
167037	Ice for fireground eskys	20.00
	Total V81480	20.00
V82274 - Vari-Skilled		
0143	Mowing Contract as per tender, PO for 2023-24	19,505.84
	Total V82274	19,505.84
V82351 - Jurien Bay Building		
01163	scissors lift hire	165.00
	Total V82351	165.00
V82474 - Direct Contracting Pty Ltd		
2722	Grading Sandy Cape Road	610.50
2724	Bibby Rd drainage	3,921.79
	Total V82474	4,532.29
V83365 - Bitutek Pty Ltd		
7777	Shire of Dandaragan 2023-24 Sealing Program	172,609.51
7776	14mm seal on Cataby Rd	24,689.28
	Total V83365	197,298.79
V83660 - D Greenwood		
52	Waste Management	1,280.00
	Total V83660	1,280.00
V83817 - WCP Civil Pty Ltd		
30724	Lime Stabilise Bibby	174,693.92
	Total V83817	174,693.92
V83863 - Badgingarra Roadhouse & Tourist Park		
2192968A	Diesel	47.91
	Total V83863	47.91
V84155 - Jurien Home Hardware - (was Thrifty Link)		
PO 83521 FEB INVOICES	February Rangers	416.23
8499/6651	Kennel Supplies	138.37
23-00042087	boots 473	179.55
24-0000444	A23 Battery Pack	5.65
PO83502	Monthly PO for February	1,249.00
	Total V84155	1,988.80
V84371 - Nessa Hall - Nussy Cleaning Management Services		
8062	Jumbo Toilet Rolls	183.26
7972	Fauntleroy park BBQ & Ablutions	6,434.29
7949	Jumbo Toilet Rolls - Jetty Cafe	160.36
	Total V84371	6,777.91
V84789 - Jurien Bay Mitre 10		

Payment Details - EFT

Payment / Invoice	Description	Amount
PO83507 FEB 2024	February monthly order Building maintenance	283.36
101019498	Cleaning Materials - Admin Office	75.00
PO83503	Monthly PO for February \$100 per purchase	51.43
	Total V84789	409.79
V84874 - Zone 50 Engineering Surveys Pty Ltd		
0893A	spotting for line marking	22,889.50
	Total V84874	22,889.50
V84902 - Dust and Shine Cleaning		
2839339	Admin Building Cleaning	210.60
2818394	Admin Building Cleaning	234.00
	Total V84902	444.60
V84916 - RKC Builders Pty Ltd		
OVER PAYMENT OF INVOICE	Over Payment of Invoice	50.00
	Total V84916	50.00
V84917 - DJ Fforde		
REFUND OF PENSIONER REBATE	Refund of Pensioner Rebate	508.64
	Total V84917	508.64
	Total EFT01225	430,781.60
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EFT Payment - EFT01224		
V80240 - RBC Rural		
32888	Printing - Internal	133.44
	Total V80240	133.44
V81744 - Nutrien Ag Solutions		
910323536	40 bags of custom blend fertilizer	1,584.00
	Total V81744	1,584.00
V81924 - Team Global Express Pty Ltd		
646	Postage & Freight	32.79
	Total V81924	32.79
V82767 - Fowler Electrical Contracting		
R009581	electrical work dandy oval	99.00
	Total V82767	99.00
V83145 - Avdata Australia		
145	Jurien Bay Flight Data Feb 2024	282.35
	Total V83145	282.35
V83427 - Bridged Group Pty Ltd		
63821	Office 365 Datto Backup Aug 23	198.00
	Total V83427	198.00
V83736 - Waterlogic Australia Pty Ltd		
CD-3733425	Jurien Admin, Civic Centre & Depot Water Filter Lease June 2023-July 2024	1,552.37
	Total V83736	1,552.37
V84327 - Lyall Ward		
17	Waste management	2,112.00

Payment Details - EFT

Payment / Invoice	Description	Amount
	Total V84327	2,112.00
V84391 - Innes Air & Electrical Pty Ltd		
03707	repairs to library a/c	676.50
	Total V84391	676.50
V84416 - Davric Australia		
214354	100 x library bags	2,222.00
	Total V84416	2,222.00
V84562 - CouncilWise Pty Ltd		
CW-0659	PropertyWise Property & Rating monthly licence	3,272.50
	Total V84562	3,272.50
V84789 - Jurien Bay Mitre 10		
101019740	February Rangers PO	13.50
	Total V84789	13.50
V84868 - Marketforce Connect (Omnicon Media Group)		
1714546	Death Notice	142.36
	Total V84868	142.36
V84914 - Willem Van Der Westhuysen		
REIMBURSEMENT FOR MEDICAL	Pre-Placement Medical	183.04
	Total V84914	183.04
V84915 - NF Barrett		
RATES REFUND	Refund of Rates	517.90
	Total V84915	517.90
	Total EFT01224	13,021.75
Grand Total - EFT Payment		1,564,553.09

Payment Details - Direct Debits

Date	Payment / Invoice	Description	Amount
28/03/2024	GJBDEB-5593	Water Corp - Badgingarra Caravan Park	\$ 1,184.17
28/03/2024	GJBDEB-5592	Synergy - 31C Dandaragan Road	\$ 100.63
28/03/2024	GJBDEB-5543	Water - Meagher Dr Badgy	\$ 2,577.43
28/03/2024	GJBDEB-5542	Synergy - New Admin Centre	\$ 5,477.63
27/03/2024	GJBDEB-5550	Synergy - 6 Dandy Rd	\$ 47.10
27/03/2024	GJBDEB-5549	Synergy - Quin Pl Dandaragan	\$ 205.86
27/03/2024	GJBDEB-5548	Synergy - 31A Dandy Rd	\$ 47.10
27/03/2024	GJBDEB-5547	Synergy - 7A Dandy Rd	\$ 138.89
27/03/2024	GJBDEB-5546	Synergy - 7B Dandy Rd	\$ 182.40
27/03/2024	GJBDEB-5545	Synergy - 31B Dandy Rd	\$ 47.10
27/03/2024	GJBDEB-5544	Synergy - 31C Dandy Rd	\$ 78.55
26/03/2024	GJBREC-3694	State Revenue Dept - ESL	\$ 1,323.14
26/03/2024	GJBREC-3693	State Revenue Dept - Pensioner Claims	\$ 17,120.76
26/03/2024	GJBDEB-5541	Synergy - Street Lights	\$ 17,410.30
26/03/2024	GJBDEB-5540	Synergy - Cerv Waste Station	\$ 201.44
26/03/2024	GJBDEB-5539	Synergy - 2Way Towers	\$ 180.87
26/03/2024	GJBDEB-5538	Synergy - Fire Hydrant - Ocean View Pde	\$ 122.27
26/03/2024	GJBDEB-5537	Synergy - Fire Hydrant - Jurien Bay Vista	\$ 138.71
26/03/2024	GJBDEB-5536	Synergy - Jurien Bay Landfill	\$ 239.18
25/03/2024	GJBDEB-5590	Salary Packaging EASI	\$ 1,882.11
25/03/2024	GJBDEB-5589	Aus Post Fees	\$ 64.28
25/03/2024	GJBDEB-5588	Bank Charges	\$ 293.80
25/03/2024	GJBDEB-5535	Synergy - Adriana Park	\$ 130.17
22/03/2024	GJBDEB-5534	Synergy - Street Lights	\$ 11,945.65
21/03/2024	GJBDEB-5533	Synergy-Creek pump	\$ 13.80
21/03/2024	GJBDEB-5532	Synergy - Zendora Road Standpipe	\$ 121.84
21/03/2024	GJBDEB-5531	Synergy - Power watch security light	\$ 419.57
21/03/2024	GJBDEB-5530	Synergy - Aggie's Cottage	\$ 52.52
21/03/2024	GJBDEB-5529	Synergy - Badgingarra F/S	\$ 18.63
21/03/2024	GJBDEB-5528	Synergy - Badgingarra Oval	\$ 1,595.37
20/03/2024	GJBDEB-5587	MC - Bankwest - Foreign Transaction Fee	\$ 2.27
20/03/2024	GJBDEB-5586	MC - Standard Australia - Risk Management Standard	\$ 891.00
20/03/2024	GJBDEB-5585	MC - Mailchimp - Software Subscription	\$ 91.82
20/03/2024	GJBDEB-5584	MC - City of Perth - Parking	\$ 7.57
20/03/2024	GJBDEB-5584	MC - Pivotel - Satelite Phone	\$ 98.00
20/03/2024	GJBDEB-5584	MC - Facebook - Advertising	\$ 33.00
20/03/2024	GJBDEB-5584	MC - Facebook - Advertising	\$ 44.00
20/03/2024	GJBDEB-5584	MC - Quality Resort - Staff Accommodation	\$ 452.68
20/03/2024	GJBDEB-5584	MC - JW Technology - Video Conferencing System	\$ 1,697.00
20/03/2024	GJBDEB-5583	MC- NNT - Corporate Uniforms	\$ 448.70
20/03/2024	GJBDEB-5527	Synergy - Memorial Cnr	\$ 299.89
20/03/2024	GJBDEB-5526	Synergy - Corunna Road Amenities	\$ 161.49

20/03/2024	GJBDEB-5525	Synergy - Cervantes Oval	\$	2,563.10
20/03/2024	GJBDEB-5524	Synergy - Cevantes F/S Amenities	\$	378.15
17/03/2024	GJBDEB-5521	Aust Post Fees	\$	656.11
17/03/2024	GJBDEB-5521	Aust Post Fees	\$	145.72
15/03/2024	GJBDEB-5582	Secure Pay - Transaction Fee- Mar 2024	\$	4.44
12/03/2024	GJBDEB-5507	Water - Jurien Cemetary	\$	633.61
12/03/2024	GJBDEB-5506	Water - Jurien Depot	\$	768.36
12/03/2024	GJBDEB-5505	Water - Caltex Rd Reserve	\$	590.60
12/03/2024	GJBDEB-5504	Water - Jurien Hall	\$	369.84
8/03/2024	GJBDEB-5498	Water - Cook St Ablutions	\$	378.94
8/03/2024	GJBDEB-5497	Synergy - Flauntleroy Park	\$	689.13
7/03/2024	GJBDEB-5503	Water - Jurien Admin Centre	\$	815.68
7/03/2024	GJBDEB-5502	Water - Memorial Park	\$	108.95
7/03/2024	GJBDEB-5501	Water - Family Resource Centre	\$	514.03
7/03/2024	GJBDEB-5500	Water - Dobbryn Park	\$	126.58
7/03/2024	GJBDEB-5499	Water - 4 Pinetree CCt	\$	274.26
5/03/2024	GJBREC-3675	Langate EAS 2 - FEB 2024	\$	2,400.00
5/03/2024	GJBDEB-5496	Water - 2 York St Jurien Bay	\$	181.04
4/03/2024	GJBDEB-5576	CBA Merchant Fee	\$	326.91
4/03/2024	GJBDEB-5575	CBA Merchant Fee	\$	53.05
1/03/2024	GJBDEB-5574	ANZ Merchant Fee	\$	174.63
1/03/2024	GJBDEB-5573	Maintenance Fee	\$	20.00
1/03/2024	GJBDEB-5495	Water - Corunna Rd Toilets	\$	739.69

GRAND TOTAL

\$ 80,501.51



Purchases by Cardholder
 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
 Web: www.motorpass.com.au



Account Name

SHIRE OF DANDARAGAN

Period Ending

01 MAR 24

Account No.

144 184 843 - 7

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
0402		05FEB	40701	METRO PETROLEUM JURIEN B	11671759658	METRO	DN000		DIESEL	199.90	128.79	234.05	23.40	257.45
0402		05FEB		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			0.75	0.08	0.83
0402		19FEB	40932	METRO PETROLEUM JURIEN B	11671759658	METRO	DN000		DIESEL	199.90	86.45	157.10	15.71	172.81
0402		19FEB		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			0.75	0.08	0.83
0402		29FEB	14620	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN000		DIESEL	196.92	91.74	164.23	16.42	180.65
0402		29FEB		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			0.75	0.08	0.83
0402		01MAR		WEX AUSTRALIA	68005970570	CEO	DN000		MANAGEMENT FEE			4.41	0.44	4.85
								306.98	TOTAL CARD SPEND		306.98	\$562.04	\$56.21	\$618.25
COST CENTRE TOTAL GOVERNANCE \$562.04 \$56.21 \$618.25														
1103		01MAR		WEX AUSTRALIA	68005970570	SANDY CAPE			MANAGEMENT FEE			4.41	0.44	4.85
								0.00	TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL ECONOMIC DEVELOPMENT \$4.41 \$0.44 \$4.85														
1404		19FEB	7387	BP JURIEN BAY	72825626712				7 REGULAR OIL	217.00	37.50	37.50	3.75	41.25
1404		19FEB	7387	BP JURIEN BAY	72825626712	BP			7 ULTRA PULP	217.00	81.16	160.11	16.01	176.12
1404		19FEB		WEX AUSTRALIA	68005970570				TRANSACTION FEE			0.75	0.08	0.83
1404		01MAR		WEX AUSTRALIA	68005970570	JURIEN-SUNDRY PLANT			MANAGEMENT FEE			4.41	0.44	4.85
								81.16	TOTAL CARD SPEND		81.16	\$202.77	\$20.28	\$223.05
COST CENTRE TOTAL SUNDRY PLANT \$202.77 \$20.28 \$223.05														
1405		01MAR		WEX AUSTRALIA	68005970570				MANAGEMENT FEE			4.41	0.44	4.85

In accordance with Goods and Services Tax: Waiver of Tax Invoice Requirement (Corporate Card Statements) Determination 2020 (Instrument ID: 2020/SMB/0006), your business does not need to retain original tax invoices to claim input tax credits for the GST expenditure shown on this statement / report. To comply with this ruling the card must show a card holder name (and / or vehicle registration where applicable) and your business must maintain regulated policies for making adjustments for expenditure that is wholly or partly of a private or domestic nature, and to ensure that input tax credits are not claimed more than once for a single creditable acquisition. Please retain this document to substantiate your taxation claims.

This document is issued by WEX Australia Pty Ltd, A.B.N. 68 005 970 570, Level 23, 367 Collins St, Melbourne VIC 3000.



Purchases by Cardholder
 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
 Web: www.motorpass.com.au



Account Name

SHIRE OF DANDARAGAN

Period Ending

01 MAR 24

Account No.

144 184 843 - 7

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
						DANDY DEPOT					0.00	\$4.41	\$0.44	\$4.85
									TOTAL CARD SPEND					
1405		03FEB	20980	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN032		DIESEL	195.89	43.05	76.66	7.67	84.33
1405		03FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
1405		08FEB	40747	METRO PETROLEUM JURIEEN B	11671759658	METRO	DN032	202,751	DIESEL	199.90	19.76	35.91	3.59	39.50
1405		08FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
1405		09FEB	357080	EG FUELCO MANJIMUP	39627348645	EG FUELCO	DN032		DIESEL	199.90	41.88	76.11	7.61	83.72
1405		09FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
1405		12FEB	21244	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN032		DIESEL	197.90	45.82	82.44	8.24	90.68
1405		12FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
1405		23FEB	14457	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN032		DIESEL	198.90	46.51	84.10	8.41	92.51
1405		23FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
1405		29FEB	41069	METRO PETROLEUM JURIEEN B	11671759658	METRO	DN032	204,500	DIESEL	203.89	31.91	59.15	5.91	65.06
1405		29FEB		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
									TOTAL CARD SPEND		228.93	\$418.87	\$41.91	\$460.78
									TOTAL CARD SPEND		228.93	\$423.28	\$42.35	\$465.63
									INFRASTRUCTURE					
402		03FEB	13882	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN004		DIESEL	195.90	45.83	81.62	8.16	89.78
402		03FEB		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
402		06FEB	7266	BP JURIEEN BAY	72825626712	BP	DN004	666	ULS DIESEL (	200.00	17.00	30.91	3.09	34.00
402		06FEB		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
402		16FEB	7371	BP JURIEEN BAY	72825626712	BP	DN004	7	ULS DIESEL (	200.00	28.24	51.35	5.13	56.48
402		16FEB		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
402		20FEB	7404	BP JURIEEN BAY	72825626712	BP	DN004	7	ULS DIESEL (	200.00	61.05	111.00	11.10	122.10
402		20FEB		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
									TOTAL CARD SPEND		152.12	\$277.88	\$27.80	\$305.68

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Purchases by Cardholder
 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
COST CENTRE TOTAL 402														
BMC		01MAR					DN025		REPLACEMENT CARD		8.00	8.00		8.00
BMC		01MAR		WEX AUSTRALIA	68005970570		DN025		MANAGEMENT FEE		4.41	4.41	0.44	4.85
							DN025 DUCATO VAN		TOTAL CARD SPEND		0.00	\$12.41	\$0.44	\$12.85
COST CENTRE TOTAL INFRASTRUCTURE														
											0.00	\$12.41	\$0.44	\$12.85
COST CENTRE TOTAL 402														
CEP		01MAR					DN004		REPLACEMENT CARD		8.00	8.00		8.00
CEP		01MAR		WEX AUSTRALIA	68005970570		DN004		MANAGEMENT FEE		4.41	4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$12.41	\$0.44	\$12.85
COST CENTRE TOTAL 402														
CESC		08FEB	40741	METRO PETROLEUM JURIEEN B	11671759658	METRO	DN86		DIESEL	199.91	52.82	95.99	9.60	105.59
CESC		08FEB		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE		0.75	0.75	0.08	0.83
CESC		09FEB	21337	BADGINGAREA ROADHOUSE &	77612966882	INDEPENDENT	DN86		DIESEL	195.90	54.13	96.40	9.64	106.04
CESC		09FEB	21337	BADGINGAREA ROADHOUSE &	77612966882		DN86		SURCHARGE		3.35	3.35	0.33	3.68
CESC		09FEB		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE		0.75	0.75	0.08	0.83
CESC		18FEB	32897	CALTEX JURIEEN BAY	31601005956	CALTEX	DN86		DIESEL	204.91	34.25	63.80	6.38	70.18
CESC		18FEB	32897	CALTEX JURIEEN BAY	31601005956	CALTEX	DN86		PREMIUM	219.86	2.92	5.84	0.58	6.42
CESC		18FEB		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE		0.75	0.75	0.08	0.83
CESC		23FEB	33078	CALTEX JURIEEN BAY	31601005956	CALTEX	DN86		DIESEL	206.90	27.41	51.55	5.16	56.71
CESC		23FEB		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE		0.75	0.75	0.08	0.83

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CESC		01MAR		WEX AUSTRALIA	68005970570	CESC	DN86		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		171.53	\$324.34	\$32.45	\$356.79
											171.53	\$324.34	\$32.45	\$356.79
DOPS		01MAR		WEX AUSTRALIA	68005970570	DNO24 HIJUX	DN024		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
											0.00	\$4.41	\$0.44	\$4.85
EDM		01MAR		WEX AUSTRALIA	68005970570	DNO32	DN032		REPLACEMENT CARD			8.00	0.44	8.44
									MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$12.41	\$0.44	\$12.85
											0.00	\$12.41	\$0.44	\$12.85
EHO		02FEB	109635	CALTEX BINNINGUP	34009644151	CALTEX STARCARD	DN041		DIESEL	199.89	46.33	84.19	8.42	92.61
				WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
							DN041		DIESEL	199.93	28.70	52.16	5.22	57.38
							DN041		TRANSACTION FEE			0.75	0.08	0.83
							DN041		DIESEL	204.91	46.21	86.08	8.61	94.69
							DN041		TRANSACTION FEE			0.75	0.08	0.83
							DN041		DIESEL	200.89	49.63	90.64	9.06	99.70
							DN041		TRANSACTION FEE			0.75	0.08	0.83
							DN041		MANAGEMENT FEE			4.41	0.44	4.85

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 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
COST CENTRE TOTAL 701														
						EHO			TOTAL CARD SPEND		170.87	\$320.48	\$32.07	\$352.55
EMDS		23FEB	33088	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	206.92	24.99	47.01	4.70	51.71
EMDS		23FEB		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		26FEB	1495	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	206.91	33.42	62.86	6.29	69.15
EMDS		26FEB		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		01MAR		WEX AUSTRALIA	68005970570		DN001		MANAGEMENT FEE		4.41	4.41	0.44	4.85
TOTAL CARD SPEND														
COST CENTRE TOTAL PLANNING														
EMI		03FEB	13883	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN002		DIESEL	195.90	57.31	102.06	10.21	112.27
EMI		03FEB		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE			0.75	0.08	0.83
EMI		11FEB	41055	AMPOL DAMESVILLE	64000175342	AMPOL	DN002		DIESEL	209.91	64.41	122.91	12.29	135.20
EMI		11FEB		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE			0.75	0.08	0.83
EMI		18FEB	32904	CALTEX JURIE BAY	31601005956	CALTEX	DN002		DIESEL	204.89	52.12	97.08	9.71	106.79
EMI		18FEB		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE			0.75	0.08	0.83
EMI		23FEB	33068	CALTEX JURIE BAY	31601005956	CALTEX	DN002		DIESEL	206.90	66.25	124.61	12.46	137.07
EMI		23FEB		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE			0.75	0.08	0.83
EMI		01MAR		WEX AUSTRALIA	68005970570		DN002		MANAGEMENT FEE		4.41	4.41	0.44	4.85
TOTAL CARD SPEND														
COST CENTRE TOTAL INFRASTRUCTURE														
TOTAL CARD SPEND														
COST CENTRE TOTAL														
											240.09	\$454.07	\$45.43	\$499.50

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 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
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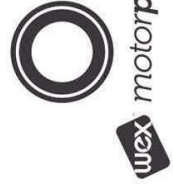
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
JBOPS		01MAR		WEX AUSTRALIA	68005970570	DN013 HILUX	DN013		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL INFRASTRUCTURE														
P&G CERVS		01MAR		WEX AUSTRALIA	68005970570	DN059 COLORADO	DN059		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL 1405 JURIE UTE														
POOL CAR		01MAR		WEX AUSTRALIA	68005970570	DN016			MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL INFRASTRUCTURE														
RANGER UTE 1		04FEB	9826	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	198.01	10.57	19.03	1.90	20.93
RANGER UTE 1		04FEB		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE 1		18FEB	32907	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	199.90	19.73	35.85	3.59	39.44
RANGER UTE 1		18FEB		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE 1		24FEB	33106	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.91	57.90	108.91	10.89	119.80
RANGER UTE 1		24FEB		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE 1		25FEB	33117	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	201.92	19.78	36.31	3.63	39.94
RANGER UTE 1		25FEB		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE 1		27FEB	33157	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.94	27.97	52.62	5.26	57.88
RANGER UTE 1		27FEB		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83

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RANGER UTE 1		01MAR		WEX AUSTRALIA	68005970570	DN012 COLORADO	DN012		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		135.95	\$260.88	\$26.11	\$286.99
COST CENTRE TOTAL 501														
RANGER UTE 2		29FEB	32248	CALTEX JURIE BAY	31601005956	CALTEX	DN052		DIESEL	206.89	65.44	123.08	12.31	135.39
RANGER UTE 2		29FEB		WEX AUSTRALIA	68005970570		DN052		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE 2		01MAR		WEX AUSTRALIA	68005970570		DN052		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		65.44	\$128.24	\$12.83	\$141.07
COST CENTRE TOTAL 501														
RANGER UTE		09FEB	32629	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		REGULAR ULP	199.92	23.68	43.04	4.30	47.34
RANGER UTE		09FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		12FEB	32705	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		REGULAR ULP	200.00	11.32	20.58	2.06	22.64
RANGER UTE		12FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		14FEB	32764	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		REGULAR ULP	199.96	23.85	43.35	4.34	47.69
RANGER UTE		14FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		16FEB	32832	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		REGULAR ULP	199.82	10.88	19.76	1.98	21.74
RANGER UTE		16FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		20FEB	32958	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		DIESEL	204.91	50.30	93.70	9.37	103.07
RANGER UTE		20FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		23FEB	33058	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		REGULAR ULP	201.94	11.33	20.80	2.08	22.88
RANGER UTE		23FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		24FEB	10038	CALTEX JURIE BAY	31601005956	CALTEX	DN10833		DIESEL	206.92	56.06	105.45	10.55	116.00
RANGER UTE		24FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83

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		28FEB	33193	CALTEX JURRIEN BAY	31601005956	CALTEX	DN10833		DIESEL	206.87	33.90	63.75	6.38	70.13
		28FEB		WEX AUSTRALIA	68005970570		DN10833		TRANSACTION FEE			0.75	0.08	0.83
		01MAR		WEX AUSTRALIA	68005970570		DN10833		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		221.32	\$420.84	\$42.14	\$462.98
											221.32	\$420.84	\$42.14	\$462.98
		22FEB		WEX AUSTRALIA	68005970570				EXPRESS DELIVERY FEES			8.79	0.88	9.67
												\$8.79	\$0.88	\$9.67
									Total account services fees					

In accordance with Goods and Services Tax: Waiver of Tax Invoice Requirement (Corporate Card Statements) Determination 2020 (Instrument ID: 2020/SMB/0006), your business does not need to retain original tax invoices to claim input tax credits for the GST expenditure shown on this statement / report. To comply with this ruling the card must show a card holder name (and / or vehicle registration where applicable) and your business must maintain regulated policies for making adjustments for expenditure that is wholly or partly of a private or domestic nature, and to ensure that input tax credits are not claimed more than once for a single creditable acquisition. Please retain this document to substantiate your taxation claims.

This document is issued by WEX Australia Pty Ltd, A.B.N. 68 005 970 570, Level 23, 367 Collins St, Melbourne VIC 3000.



**MONTHLY FINANCIAL REPORT
For the period ended 30 April 2024**

*LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996*

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SHIRE OF DANDARAGAN
STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 APRIL 2024

	Supplementary Information	Amended Budget Estimates (a) \$	YTD Budget Estimates (b) \$	YTD Actual (c) \$	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var.
OPERATING ACTIVITIES							
Revenue from operating activities							
General rates	8	7,416,740	7,416,740	7,385,985	(30,755)	(0.41%)	
Grants, subsidies and contributions	12	1,065,729	925,479	683,692	(241,787)	(26.13%)	▼
Fees and charges		2,789,660	2,539,214	2,641,697	102,483	4.04%	
Interest revenue		210,247	86,872	57,203	(29,669)	(34.15%)	▼
Other revenue		50,999	42,500	39,914	(2,586)	(6.08%)	
Profit on asset disposals	4	826,448	55,599	254,105	198,506	357.03%	▲
		12,359,823	11,066,404	11,062,596	(3,808)	(0.03%)	
Expenditure from operating activities							
Employee costs		(5,140,498)	(4,283,749)	(3,879,727)	404,022	9.43%	
Materials and contracts		(5,046,229)	(4,205,191)	(3,866,098)	339,093	8.06%	
Utility charges		(396,683)	(330,570)	(344,678)	(14,108)	(4.27%)	
Depreciation		(8,136,024)	(6,780,020)	(7,020,897)	(240,877)	(3.55%)	
Finance costs		(49,582)	(29,629)	(40,889)	(11,260)	(38.00%)	▼
Insurance		(364,605)	(364,605)	(362,562)	2,043	0.56%	
Other expenditure		(741,875)	(643,368)	(620,174)	23,194	3.61%	
Loss on asset disposals	4	(7,931)	(6,609)	0	6,609	100.00%	
		(19,883,427)	(16,643,741)	(16,135,025)	508,716	3.06%	
Non-cash amounts excluded from operating activities	Note 2(b)	7,317,507	6,731,030	6,766,792	35,762	0.53%	
Amount attributable to operating activities		(206,098)	1,153,693	1,694,363	540,670	46.86%	
INVESTING ACTIVITIES							
Inflows from investing activities							
Proceeds from capital grants, subsidies and contributions	13	8,475,271	1,751,380	2,585,820	834,440	47.64%	▲
Proceeds from disposal of assets	4	1,633,860	351,000	431,320	80,320	22.88%	▲
Proceeds from financial assets at amortised cost - self supporting loans		20,938	19,135	19,135	0	0.00%	
		10,130,069	2,121,515	3,036,275	914,760	43.12%	
Outflows from investing activities							
Payments for property, plant and equipment	3	(2,898,768)	(632,814)	(952,841)	(320,027)	(50.57%)	▼
Payments for construction of infrastructure	3	(8,172,470)	(6,958,107)	(3,514,334)	3,443,773	49.49%	▲
		(11,071,238)	(7,590,921)	(4,467,175)	3,123,746	41.15%	
Amount attributable to investing activities		(941,169)	(5,469,406)	(1,430,900)	4,038,506	73.84%	
FINANCING ACTIVITIES							
Inflows from financing activities							
Proceeds from new debentures	9	432,000	0	0	0	0.00%	
Transfer from reserves	2	737,851	0	0	0	0.00%	
		1,169,851	0	0	0	0.00%	
Outflows from financing activities							
Repayment of borrowings	9	(166,295)	(164,492)	(164,492)	0	0.00%	
Payments for principal portion of lease liabilities	10	(31,311)	(24,280)	(24,280)	0	0.00%	
Transfer to reserves	2	(1,066,818)	0	(22,995)	(22,995)	0.00%	
		(1,264,424)	(188,772)	(211,767)	(22,995)	(12.18%)	
Amount attributable to financing activities		(94,573)	(188,772)	(211,767)	(22,995)	(12.18%)	
MOVEMENT IN SURPLUS OR DEFICIT							
Surplus or deficit at the start of the financial year		1,760,621	1,760,621	1,760,621	0	0.00%	
Amount attributable to operating activities		(206,098)	1,153,693	1,694,363	540,670	46.86%	▲
Amount attributable to investing activities		(941,169)	(5,469,406)	(1,430,900)	4,038,506	73.84%	▲
Amount attributable to financing activities		(94,573)	(188,772)	(211,767)	(22,995)	(12.18%)	▼
Surplus or deficit after imposition of general rates		518,782	(2,743,864)	1,812,317	4,556,181	166.05%	▲

KEY INFORMATION

▲▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

* Refer to Note 3 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

SHIRE OF DANDARAGAN
STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 30 APRIL 2024

	30 June 2023	30 April 2024
	\$	\$
CURRENT ASSETS		
Cash and cash equivalents	8,937,592	8,249,785
Trade and other receivables	2,369,979	899,599
Other financial assets	21,478	564
Inventories	54,945	54,632
TOTAL CURRENT ASSETS	11,383,994	9,204,580
NON-CURRENT ASSETS		
Trade and other receivables	69,285	69,285
Other financial assets	138,034	138,034
Property, plant and equipment	36,019,634	35,784,359
Infrastructure	291,704,272	291,780,655
Right-of-use assets	34,869	8,945
TOTAL NON-CURRENT ASSETS	327,966,094	327,781,278
TOTAL ASSETS	339,350,088	336,985,858
CURRENT LIABILITIES		
Trade and other payables	603,345	761,591
Other liabilities	3,572,360	4,061,911
Lease liabilities	31,335	5,343
Borrowings	166,295	1,803
Employee related provisions	672,709	302,562
TOTAL CURRENT LIABILITIES	5,046,044	5,133,210
NON-CURRENT LIABILITIES		
Lease liabilities	4,000	4,000
Borrowings	2,074,727	2,074,727
Employee related provisions	142,761	142,761
TOTAL NON-CURRENT LIABILITIES	2,221,488	2,221,488
TOTAL LIABILITIES	7,267,532	7,354,698
NET ASSETS	332,082,556	329,631,160
EQUITY		
Retained surplus	200,667,835	198,158,233
Reserve accounts	4,753,481	4,776,477
Revaluation surplus	126,661,240	126,661,239
TOTAL EQUITY	332,082,556	329,595,949

This statement is to be read in conjunction with the accompanying notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 APRIL 2024**

1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the Shire to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supporting information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies appears at Note 14 to these financial statements.

Judgements and estimates

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation of fair values of land and buildings, infrastructure and investment property
- estimation uncertainties made in relation to lease accounting
- estimated useful life of intangible assets

SIGNIFICANT ACCOUNTING POLICES

Significant accounting policies utilised in the preparation of these statements are as described within the 2023-24 Annual Budget. Please refer to the adopted budget document for details of these policies.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 13 May 2024

SHIRE OF DANDARAGAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 APRIL 2024

2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION

		Amended Budget Opening 30 June 2023	Last Year Closing 30 June 2023	Year to Date 30 April 2024
(a) Net current assets used in the Statement of Financial Activity				
Current assets		\$	\$	\$
Cash and cash equivalents	1	7,104,058	8,937,592	8,249,785
Trade and other receivables		821,551	2,369,979	899,599
Other financial assets		22,717	21,478	564
Inventories	6	54,961	54,945	54,632
		8,003,287	11,383,994	9,204,580
Less: current liabilities				
Trade and other payables	7	(316,358)	(603,345)	(761,591)
Other liabilities	11	(1,898,942)	(3,572,360)	(4,061,911)
Lease liabilities	10	(38,116)	(31,335)	(5,343)
Borrowings	9	(168,074)	(166,295)	(1,803)
Employee related provisions	11	(519,719)	(672,709)	(302,562)
		(2,941,209)	(5,046,044)	(5,133,210)
Net current assets		5,062,078	6,337,950	4,071,370
Less: Total adjustments to net current assets	Note 2(c)	(4,049,899)	(4,577,329)	(4,587,549)
Closing funding surplus / (deficit)		1,012,179	1,760,621	(516,179)

(b) Non-cash amounts excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

		Amended Budget	YTD Budget (a)	YTD Actual (b)
Non-cash amounts excluded from operating activities				
		\$	\$	\$
Adjustments to operating activities				
Less: Profit on asset disposals	4	(826,448)	(55,599)	(254,105)
Add: Loss on asset disposals	4	7,931	6,609	0
Add: Depreciation		8,136,024	6,780,020	7,020,897
Total non-cash amounts excluded from operating activities		7,317,507	6,731,030	6,766,792

(c) Current assets and liabilities excluded from budgeted deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

		Amended Budget Opening 30 June 2023	Last Year Closing 30 June 2023	Year to Date 30 April 2024
Adjustments to net current assets				
Less: Reserve accounts	2	(4,753,091)	(4,753,481)	(4,776,476)
Less: Financial assets at amortised cost - self supporting loans	6	(22,717)	(21,478)	(564)
Add: Current liabilities not expected to be cleared at the end of the year:				
- Current portion of borrowings	9	168,074	166,295	1,803
- Current portion of lease liabilities	10	38,116	31,335	5,343
- Current portion of employee benefit provisions held in reserve	2	519,719	0	182,345
Total adjustments to net current assets	Note 2(a)	(4,049,899)	(4,577,329)	(4,587,549)

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

SHIRE OF DANDARAGAN
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 30 APRIL 2024

3 EXPLANATION OF MATERIAL VARIANCES

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2023-24 year is \$10,000 and 10.00% whichever is the greater.

Description	Var. \$	Var. %	
	\$	%	
Revenue from operating activities			
Grants, subsidies and contributions	(241,787)	(26.13%)	▼
Delay in MAF and acquittal of small grant revenue		Timing	
Interest revenue	(29,669)	(34.15%)	▼
Reserve Interest maturity date not reached		Timing	
Profit on asset disposals	198,506	357.03%	▲
Profit on sale of Dandaragan Property higher than budgeted		Permanent	
Expenditure from operating activities			
Finance costs	(11,260)	(38.00%)	▼
Reduction in lease interest		Permanent	
Inflows from investing activities			
Proceeds from capital grants, subsidies and contributions	834,440	47.64%	▲
Agaton Road Acquittal completed		Timing	
Proceeds from disposal of assets	80,320	22.88%	▲
Reduced price on trade in vehicles		Permanent	
Outflows from investing activities			
Payments for property, plant and equipment	(320,027)	(50.57%)	▼
Machinery purchases completed		Timing	
Payments for construction of infrastructure	3,443,773	49.49%	▲
Road construction finalised		Timing	
Surplus or deficit after imposition of general rates	4,556,181	166.05%	▲

SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION

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**SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 30 APRIL 2024**

1 CASH AND FINANCIAL ASSETS

Description	Classification	Unrestricted \$	Restricted \$	Total Cash \$	Trust \$	Institution	Interest Rate	Maturity Date	
Municipal Bank Account	Cash and cash equivalents	170,670	0	170,670		Bankwest	0.00%	Ongoing	
Telenet Bank Account	Cash and cash equivalents	(961,908)	4,061,908	3,100,000		Bankwest	3.25%	Ongoing	
Trust Bank Account	Cash and cash equivalents	0	200,277	200,277		Bankwest	0.00%	Ongoing	
Petty Cash	Cash and cash equivalents	2,360	0	2,360			Nil	On hand	
Reserve Account	Cash and cash equivalents	0	976,477	976,477		Bankwest	2.50%	Ongoing	
Reserve Term Deposit	Cash and cash equivalents	0	3,800,000	3,800,000		Bankwest	4.90%	04-Jun-24	
Total		(788,878)	9,038,663	8,249,785	0				
Comprising									
Cash and cash equivalents		(788,878)	9,038,663	8,249,785	0				
		(788,878)	9,038,663	8,249,785	0				

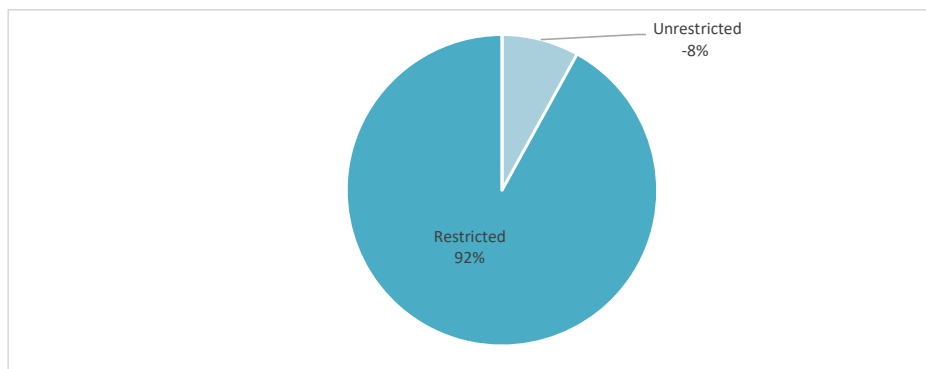
KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other



SHIRE OF DANDARAGAN
SUPPLEMENTARY INFORMATION
FOR THE PERIOD ENDED 30 APRIL 2024

2 RESERVE ACCOUNTS

Reserve name	Budget	Budget	Budget	Budget	Budget	Actual	Actual	Actual	Actual	Actual
	Opening	Interest	Transfer	Transfers	Closing	Opening	Interest	Transfers	Transfer	YTD
	Balance	Earned	s In (+)	Out (-)	Balance	Balance	Earned	In (+)	s Out (-)	Closing
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by Council										
Leave reserve	181,452	8,317			189,769	181,467	878			182,345
Plant reserve	361,226	8,135		(275,000)	94,361	361,255	1,748			363,003
Building reserve	598,905	25,289	6,516		630,710	598,954	2,898			601,852
Rubbish reserve	437,207	13,878		(167,940)	283,145	437,243	2,115			439,358
Community Centre reserve	408,054	12,386	6,000		426,440	408,087	1,975			410,062
Television Services Reserve	53,126	3,121			56,247	53,130	257			53,387
Information Technology Reserve	57,392	1,820			59,212	57,397	277			57,674
Land Development Reserve	71,125	2,257			73,382	71,131	344			71,475
Parking Requirements (L1154 SandpiperSt) Reserve	11,480	364			11,844	11,481	56			11,537
Parks & Rec. Grounds (Seagate) Reserve	151,042	12,030			163,072	151,055	730			151,785
Sport and Recreation Reserve	96,342	9,928		(87,059)	19,211	96,349	467			96,816
Landscaping Reserve	2,664	91			2,755	2,664	13			2,677
Aerodrome Reserve	178,385	4,131	22,442	(50,000)	154,958	178,400	863			179,263
Public Open Space Renewal Reserve	212,635	17,845		(27,421)	203,059	212,652	1,029			213,681
Infrastructure Renewal Reserve	703,244	25,962			729,206	703,302	3,402			706,704
Public Open Space Construction Reserve	9,446	3,613			13,059	9,447	45			9,492
Infrastructure Construction Reserve	146,669	1,993			148,662	146,681	710			147,391
Building Construction Reserve	26,870	3,713			30,583	26,872	130			27,002
Economic Development Reserve	648,889	25,380	849,860	(26,745)	1,497,384	648,942	3,139			652,081
Turquoise Way Path Reserve	52,105	1,656			53,761	52,110	252			52,362
Cash in Lieu of Landscaping-Lot1146 Sandpiper St	2,511	91			2,602	2,511	12			2,523
WALGGC Roads Component Overpayment	73,705			(73,686)	19	73,711	356			74,067
Cervantes Community Infrastructure Development	268,618			(30,000)	238,618	268,640	1,300			269,940
	4,753,091	182,000	884,818	(737,851)	5,082,058	4,753,481	22,995	0	0	4,776,476

3 CAPITAL ACQUISITIONS

Capital acquisitions	Amended		YTD Actual	YTD Actual Variance
	Budget	YTD Budget		
	\$	\$	\$	\$
Buildings	1,751,456	206,821	221,880	15,059
Furniture and equipment	85,000	85,000	1,000	(84,000)
Plant and equipment	1,062,312	340,993	729,961	388,968
Acquisition of property, plant and equipment	2,898,768	632,814	952,841	320,027
Infrastructure - roads	7,286,180	6,071,817	3,267,071	(2,804,746)
Infrastructure - Parks and Reserves	133,800	133,800	0	(133,800)
Infrastructure - Other	752,490	752,490	247,262	(505,228)
Acquisition of infrastructure	8,172,470	6,958,107	3,514,334	(2,803,719)
Total capital acquisitions	11,071,238	7,590,921	4,467,175	(2,483,692)
Capital Acquisitions Funded By:				
Capital grants and contributions	8,475,271	1,751,380	2,585,820	834,440
Borrowings	432,000	0	0	0
Other	1,633,860	351,000	431,320	80,320
Reserve accounts				
Plant reserve	275,000	0	0	0
Rubbish reserve	167,940	0	0	0
Sport and Recreation Reserve	87,059	0	0	0
Aerodrome Reserve	50,000	0	0	0
Public Open Space Renewal Reserve	27,421	0	0	0
Economic Development Reserve	26,745	0	0	0
Cervantes Community Infrastructure Development	30,000	0	0	0
Contribution - operations	(134,058)	5,488,541	1,450,035	(4,038,506)
Capital funding total	11,071,238	7,590,921	4,467,175	(3,123,746)

SIGNIFICANT ACCOUNTING POLICIES

Each class of fixed assets within either plant and equipment or infrastructure, is carried at cost or fair value as indicated less, where applicable, any accumulated depreciation and impairment losses.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Financial Management Regulation 17A (5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

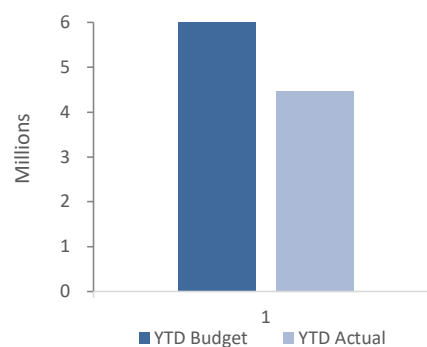
Initial recognition and measurement for assets held at cost

Plant and equipment including furniture and equipment is recognised at cost on acquisition in accordance with *Financial Management Regulation 17A*. Where acquired at no cost the asset is initially recognise at fair value. Assets held at cost are depreciated and assessed for impairment annually.

Initial recognition and measurement between mandatory revaluation dates for assets held at fair value

In relation to this initial measurement, cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads.

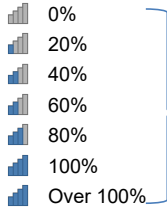
Payments for Capital Acquisitions



3 CAPITAL ACQUISITIONS - DETAILED

Capital expenditure total

Level of completion indicators



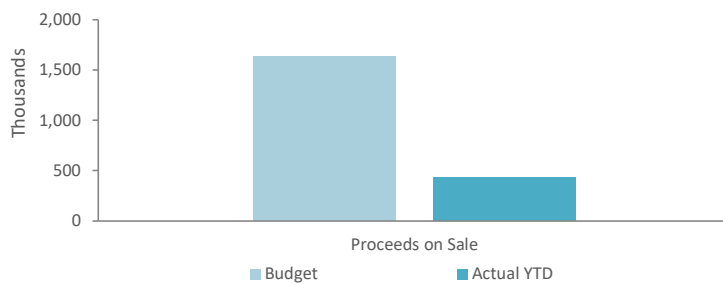
Percentage Year to Date Actual to Annual Budget expenditure where the expenditure over budget highlighted in red.

Level of completion indicator, please see table at the end of this note for further detail.

Project Description	Amended			Variance (Under)/Over
	Budget	YTD Budget	YTD Actual	
	\$	\$	\$	\$
JURIEN IRRIGATION PROJECT	133,800	133,800	0	133,800
JURIEN BAY EAST WEST RUNWAY	500,000	500,000	0	500,000
JURIEN TIP CELL FENCE	70,000	70,000	63,933	6,067
CERVANTES NICHE WALL CONSTRUCTION	5,000	5,000	4,800	200
JB TIP ROAD TO NEW CELL	97,490	97,490	34,823	62,667
JB AIRSTRIP LIGHTING, CONES & ELECTRIC FENCE	30,000	30,000	0	30,000
EW RUNWAY DEVELOPMENT PROJECTS	50,000	50,000	0	50,000
PIONEER PARK DANDARAGAN - FENCE, SHELTER, SEATING	0	0	267	(267)
SANDY CAPE REPLACEMENT OF TOILET BLOCK	47,341	47,341	45,387	1,954
BADGINGARRA AMENITIES - REPLACE	53,615	53,615	53,646	(31)
JURIEN BAY ADMINISTRATION CENTRE REFURB	500,000	500,000	168,139	331,861
CONVERT JURIEN DEPOT OFFICE INTO ARCHIVES ROOM	30,000	30,000	22,107	7,893
JURIEN BAY AIRSTRIP TOILET - EXTERNAL REPAINT	8,500	8,500	3,218	5,282
WELLNESS CENTRE - EXTERNAL REPAINT	7,000	7,000	5,928	1,072
2 YORK STREET - RE-ROOF SHED, UPGRADE STORMWATER	9,000	9,000	8,569	431
CERVANTES CCRC - EXTERNAL REPAINT	8,000	8,000	0	8,000
MEMORIAL PARK TOILET BLOCK - EXTERNAL REPAINT	8,000	8,000	5,992	2,008
CERVANTES CCRC - HI-BAY LED LIGHT CONVERSION	15,000	15,000	0	15,000
JURIEN BAY FORESHORE TRANSFORMER FIRE WALL	45,000	45,000	0	45,000
RESIDENCE 1 3X1 21 TOPHAM STREET, DANDARAGAN	292,500	292,500	0	292,500
TRANSPORTABLE RESIDENCE 2 2X1 8 HARRIS STREET	232,500	232,500	0	232,500
WORKERS COTTAGE 2X2 - SHARED LIVING SPACE 8 HARRIS	247,500	247,500	0	247,500
NEW DEPOT AMENITIES / 2X1 WITH CARETAKERS WING	247,500	247,500	0	247,500
PLAYGROUND PARTIAL REPLACEMENT - WELD PARK	85,000	85,000	1,000	84,000
KAYANABA ROAD	12,500	12,500	0	12,500
STOCKYARD ROAD	125,763	125,763	6,410	119,353
CANTABILLING ROAD	45,794	45,794	46,050	(256)
HARRIS STREET	65,683	65,683	50,074	15,609
SANDY CAPE ROAD	150,000	150,000	65,000	85,000
GILLINGARRA ROAD	425,000	425,000	211,400	213,600
BIBBY ROAD	155,867	155,867	165,294	(9,427)
JURIEN EAST ROAD	545,076	545,076	545,076	-
JURIEN EAST ROAD	795,781	795,781	141,719	654,061
CATABY ROAD	120,000	120,000	128,285	(8,285)
CATABY ROAD	490,000	490,000	449,175	40,825
DANDARAGAN ROAD	130,000	130,000	157,067	(27,067)
DANDARAGAN ROAD	630,000	630,000	621,627	8,373
AGATON ROAD	3,003,984	3,003,984	1,789,559	1,214,425
MUNBINEA ROAD	194,902	194,902	205,411	(10,509)
MUNBINEA ROAD	184,967	184,967	184,967	-
BIBBY ROAD	210,863	210,863	210,863	-
	10,008,926	10,008,926	5,395,785	4,613,141

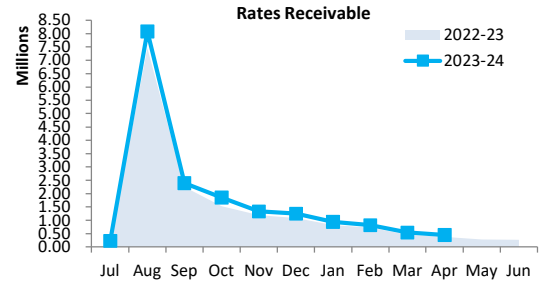
4 DISPOSAL OF ASSETS

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
Land & Buildings									
	3494 Dandaragan Rd Lot 102 FA2511	166,883	198,000	31,117	0			0	0
	3490 Dandaragan Rd Lot 101 FA2509	128,412	195,000	66,588	0			0	0
	3486 Dandaragan Rd Lot 7 FA2509	102,836	195,000	92,164	0	78,861	297,956	219,095	0
	17 Doust Street Lot116 FA2521	140,000	410,425	270,425	0			0	0
	19 Doust Street Lot115 FA2520	140,000	439,435	299,435	0			0	0
Plant and equipment									
	Volvo L70C FA2020 PCL004	0	25,000	25,000	0			0	0
	Iveco Powerstar 7200 FA2532 PTH014	37,931	30,000	0	(7,931)	21,552	27,000	5,448	0
	Holden Space Cab FA2533 PLV236	0	10,000	10,000	0	4,489	6,364	1,875	0
	Holden Space Cab FA2540 PLV238	8,681	12,000	3,319	0	4,940	8,182	3,242	0
	Toyota Hilux FA2993 PLV239	6,500	15,000	8,500	0			0	0
	Mazda CX5 FA2995 PLV240	7,926	19,000	11,074	0	6,631	9,091	2,460	0
	Toyota Hilux FA2996 PLV243	6,500	15,000	8,500	0	4,442	12,727	8,285	0
	Prado FA3242 PLV267	44,724	50,000	5,276	0	42,771	50,000	7,229	0
	Toyota Corolla FA3155 PLV264	14,325	20,000	5,675	0	13,529	20,000	6,471	0
		804,718	1,633,860	837,073	(7,931)	177,215	431,320	254,105	0



5 RECEIVABLES

Rates receivable	30 June 2023	30 Apr 2024
	\$	\$
Opening arrears previous years	273,096	273,096
Levied this year	7,043,329	7,385,985
Less - collections to date	(7,043,329)	(7,207,180)
Gross rates collectable	273,096	451,901
Net rates collectable	273,096	451,901
% Collected	96.3%	94.1%



Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	0	202,429	7,741	91,721	147,225	449,116
Percentage	0.0%	45.1%	1.7%	20.4%	32.8%	

Balance per trial balance

Trade and other receivables	449,116
Allowance for credit losses of trade receivables	(1,418)
Total receivables general outstanding	447,698

Amounts shown above include GST (where applicable)

KEY INFORMATION

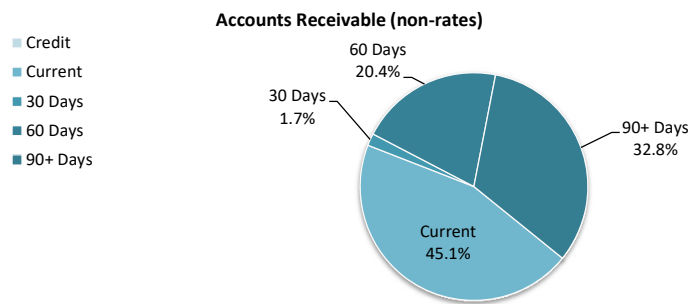
Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.



6 OTHER CURRENT ASSETS

Other current assets	Opening Balance 1 July 2023	Asset Increase	Asset Reduction	Closing Balance 30 April 2024
	\$	\$	\$	\$
Other financial assets at amortised cost				
Financial assets at amortised cost - self supporting loans	21,478		(20,914)	564
Inventory				
Stock on Hand - Fuel	54,945	259,651	(259,964)	54,632
Total other current assets	76,423	259,651	(280,878)	55,196

Amounts shown above include GST (where applicable)

KEY INFORMATION

Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

7 PAYABLES

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	369,247	80,911	0	4,151	454,309
Percentage	0.0%	81.3%	17.8%	0.0%	0.9%	

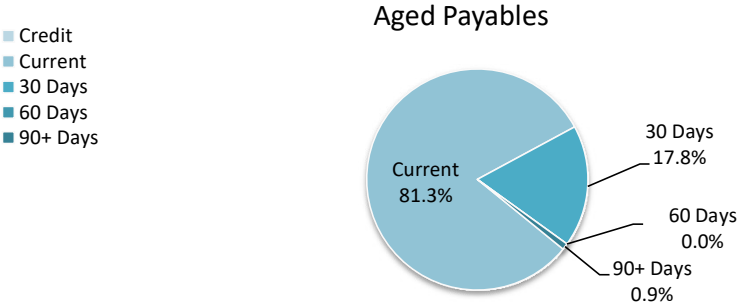
Balance per trial balance

Sundry creditors	398,021
Accrued salaries and wages	70,282
ATO liabilities	(91,221)
Other payables	78,495
Bonds and deposits held	220,671
Accrued interest on borrowings	8,759
Prepaid rates	76,584
Total payables general outstanding	761,591

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.



8 RATE REVENUE

General rate revenue

RATE TYPE	Rate in	Number of	Rateable	Rate	Budget	Total	Rate	YTD Actual	Total
	\$ (cents)	Properties	Value	Revenue	Interim	Revenue	Revenue	Interim	Revenue
				\$	\$	\$	\$	\$	\$
Gross rental value									
GRV - General	9.2480	1,942	32,790,045	3,032,424		3,032,424	3,039,760	14,505	3,054,265
Unimproved value									
UV - General	0.5439	434	609,050,285	3,312,625		3,312,625	3,312,423	(2,252)	3,310,171
Sub-Total		2,376	641,840,330	6,345,049	0	6,345,049	6,352,183	12,253	6,364,436
Minimum payment									
					Minimum Payment \$				
Gross rental value									
GRV - General	1,090	938	5,193,585	1,022,420		1,022,420	1,019,150		1,019,150
GRV - Lesser Minimum - Dandaragan & Badgingarra	822	37	113,876	30,414		30,414	29,592		29,592
Unimproved value									
UV - General	607	421	32,283,424	255,547		255,547	252,847		252,847
Sub-total		1,396	37,590,885	1,308,381	0	1,308,381	1,301,589	0	1,301,589
Discount						(270,000)			(287,046)
Amount from general rates						7,383,430			7,378,979
Ex-gratia rates						8,500			7,006
Total general rates						7,391,930			7,385,985

9 BORROWINGS

Repayments - borrowings

Information on borrowings	Particulars	Loan No.	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments		
			1 July 2023	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
			\$	\$	\$	\$	\$	\$	\$	\$	
	Dandaragan House GROH	136	553,671			(60,887)	(60,887)	492,784	492,784	(9,599)	(9,599)
	Jurein Bay Foreshore	137	1,411,603			(60,796)	(60,796)	1,350,807	1,350,807	(35,066)	(35,066)
	Jurien Bay Depot Building	138	215,269			(23,673)	(23,673)	191,596	191,596	(3,732)	(3,732)
	Proposed Dandaragan Housing	New			432,000		0	0	432,000		0
			2,180,544	0	432,000	(145,357)	(145,357)	2,035,187	2,467,187	(48,397)	(48,397)
Self supporting loans											
	Jurien Bay Preogress Association	133	22,489	0	0	(7,312)	(7,312)	15,176	15,177	(279)	(513)
	Jurien Bay Mens Shed	134	12,788	0	0	(1,791)	(3,594)	10,997	9,194	(84)	(157)
	Badgingarra Bowling Club	135	25,202	0	0	(10,032)	(10,032)	15,170	15,170	(147)	(147)
			60,478	0	0	(19,135)	(20,938)	41,343	39,540	(510)	(817)
Total			2,241,022	0	432,000	(164,492)	(166,295)	2,076,530	2,506,727	(48,907)	(49,214)
	Current borrowings		166,295					1,803			
	Non-current borrowings		2,074,727					2,074,727			
			2,241,022					2,076,530			

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

KEY INFORMATION

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature. Non-current borrowings fair values are based on discounted cash flows using a current borrowing rate.

10 LEASE LIABILITIES

Movement in carrying amounts

Information on leases Particulars	Lease No.	1 July 2023	New Leases		Principal Repayments		Principal Outstanding		Interest Repayments	
			Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Photocopier Lease	Ricoh	16,755			(8,987)	(15,482)	7,768	1,273	(230)	(409)
Water Filter Lease	Waterlogic	32,854			(15,293)	(15,829)	17,561	17,025	(231)	(288)
Total		49,609	0	0	(24,280)	(31,311)	25,329	18,298	(461)	(697)
Current lease liabilities		31,335					5,343			
Non-current lease liabilities		4,000					4,000			
		35,335					9,343			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is or contains a lease, if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

11 OTHER CURRENT LIABILITIES

	Note	Opening Balance 1 July 2023	Liability transferred from/(to) non current	Liability Increase	Liability Reduction	Closing Balance 30 April 2024
		\$	\$	\$	\$	\$
Other current liabilities						
Other liabilities						
Contract liabilities		154,209	0	727,343	(508,853)	372,699
Capital grant/contributions liabilities		3,418,151	0	2,856,882	(2,585,821)	3,689,212
Total other liabilities		3,572,360	0	3,584,225	(3,094,674)	4,061,911
Employee Related Provisions						
Provision for annual leave		347,710	0		(316,100)	31,610
Provision for long service leave		324,999	0		(54,047)	270,952
Total Provisions		672,709	0	0	(370,147)	302,562
Total other current liabilities		4,245,069	0	3,584,225	(3,464,821)	4,364,473

Amounts shown above include GST (where applicable)

A breakdown of contract liabilities and associated movements is provided on the following pages at Note 12 and 13

KEY INFORMATION

Provisions

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

Provisions are assessed and updated at the end of the financial year.

Employee Related Provisions

Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the calculation of net current assets.

Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisions in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

Contract liabilities

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

12 GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Unspent grant, subsidies and contributions liability					Grants, subsidies and contributions revenue		
	Liability	Increase in Liability	Decrease in Liability	Liability	Current Liability	Amended Budget	YTD Budget	YTD Revenue
	1 July 2023		(As revenue)	30 Apr 2024	30 Apr 2024	Revenue	Budget	Actual
	\$	\$	\$	\$	\$	\$	\$	\$
Grants and subsidies (Operating)								
Grants Commission - General		31,292	(31,292)	0				31,292
Grants Commission - roads		28,629	(28,629)	0				28,629
ESL Operating Grant		56,000	(56,000)	0		56,000	56,000	56,000
ESL Operating Grant - BF Insurance				0		20,131	20,131	
Mitigation Activity Fund Grant	46,940		(3,035)	43,905	43,905	46,940	46,940	3,035
Mitigation Activity Fund 22/23 Round 2 - Instalment 2		100,395		100,395	100,395	121,250	121,250	
Mitigation Activity Fund 23/24 Round 2 - Instalment 1		86,146		86,146	86,146			
DLGSCI - BEN sign grant	6,209			6,209	6,209	6,209	6,209	
Inundation - management plan		25,000	(25,000)	0		25,000	25,000	25,000
Design of Cervantes North Foreshore				0		84,293	84,293	
CHRMAP	25,000			25,000	25,000	25,000	25,000	
Every Club Grant	7,322			7,322	7,322	7,322	7,322	
Every Club Grant - Year 2		7,322		7,322	7,322	7,322	7,322	
Karda Mountain Bike Trail	20,000		(20,000)	0		20,000	20,000	20,000
Spray the Grey - Dept of Communities		3,000	(3,000)	0				3,000
Spray the Grey - Healthway		3,000		3,000	3,000			
Spray the Grey - Lotterywest		5,000		5,000	5,000			
Community Stewardship - State NRM				0		27,800	27,800	
Community Stewardship Grant - Gingin & Coorow				0		24,000	24,000	24,000
Community Stewardship Grant - FY23	44,200	24,000	(24,000)	44,200	44,200	44,200	44,200	
Community Stewardship Grant - FY24		44,200		44,200	44,200	44,200	44,200	
Technology and Digital Inclusion Grant	4,538		(4,538)	0		4,538	4,538	4,538
MRWA Direct Grant		309,421	(309,421)	0		302,750	302,750	309,421
Street Light Subsidy		3,938	(3,938)	0		3,400	3,400	3,938
	154,209	727,343	(508,853)	372,699	372,699	870,355	870,355	508,853
Contributions								
Contributions & Donations				0		37,650	31,375	21,931
Reimbursements				0		77,867	64,890	152,909
	0	0	0	0	0	115,517	96,265	174,839
TOTALS	154,209	727,343	(508,853)	372,699	372,699	985,872	966,620	683,692

13 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

Provider	Capital grant/contribution liabilities				Capital grants, subsidies and contributions revenue			
	Liability	Increase in	Decrease in	Liability	Current	Amended	YTD	YTD
	1 July 2023	Liability	Liability	30 Apr 2024	Liability	Budget	Budget	Revenue
	\$	\$	\$	\$	\$	\$	\$	\$
Capital grants and subsidies								
Jurien Irrigation Project				0		66,900		
Lotterywest - Playground additions Cervantes Rec				0		50,000		
Local Roads and Comm Inf - Round 3	590,929			590,929	590,929	590,929		
Pioneer Park Dandaragan - Park and Playground				0		100,000		
Regional Road Group	550,546			550,546	550,546	550,546		
WSFN	108,337			108,337	108,337	108,337		
WSFN - ROS008 & A	329,056			329,056	329,056	329,056		
WSFN - Jurien East Road ROS856				0		400,400		
WSFN - Jurien East Road ROS856A				0		756,000		
WABN - Cervantes	10,000		(10,000)	0		10,000		10,000
DoT RBN Grant - Cervantes Path	72,500		(72,500)	0		72,500		72,500
RRG Grant - Cataby Road - RRG001FS		78,033		78,033	78,033	75,333		
RRG Grant - Cataby Road - RRG001REC		261,334		261,334	261,334	326,667		
RRG Grant - Dandaragn Road - RRG002FS		68,000		68,000	68,000	68,000		
RRG Grant - Dandaragn Road - RRG002REC		336,000		336,000	336,000	420,000		
State Commodity Route Grant - Sandy Cape	87,900			87,900	87,900	87,900		
State Commodity Route Grant - Gillingarra Road		220,000		220,000	220,000	275,000		
Local Roads and Comm Inf - Stockyard Road		75,458		75,458	75,458	125,763		
Local Roads and Comm Inf - Cantabilling Road		27,476		27,476	27,476	45,794		
Local Roads and Comm Inf - Harris Road		40,249		40,249	40,249	67,083		
Local Roads and Comm Inf - Agaton Road		300,398		300,398	300,398	500,664		
Local Roads and Comm Inf - Bibby Road - RTR326A		21,972		21,972	21,972	36,619		
Local Roads and Comm Inf - Bibby Road - RTR326B		93,521		93,521	93,521	155,867		
RTR Grant - Munbinea Road - RTR004A				0		194,902		
RTR Grant - Munbinea Road - RTR004B				0		184,967		
RTR Grant - Bibby Road - RTR326A				0		174,244		
Remote Rural Upgrade Pilot - Agaton Road	1,668,880	834,440	(2,503,320)	0		2,503,320		2,503,320
Resilience Cyclone Serojia Fund		500,000		500,000	500,000	500,000		
	3,418,151	2,856,881	(2,585,821)	3,689,211	3,689,209	8,776,791	0	2,585,820

**SHIRE OF DANDARAGAN
 SUPPLEMENTARY INFORMATION
 FOR THE PERIOD ENDED 30 APRIL 2024**

14 TRUST FUND

Funds held at balance date which are required by legislation to be credited to the trust fund and which are not included in the financial statements are as follows:

Description	Opening Balance 1 July 2023	Amount Received	Amount Paid	Closing Balance 30 Apr 2024
	\$	\$	\$	\$
Cash In Lieu POS - L9000 Valencia	200,277			200,277
	200,277	0	0	200,277



**ACCOUNTS FOR PAYMENT
FOR THE PERIOD ENDING**

30 April 2024

SUMMARY OF SCHEDULE OF ACCOUNTS APRIL 2024

<u>FUND</u>		<u>AMOUNT</u>
<u>MUNICIPAL FUND</u>		
CHEQUES	\$	296.30
EFT'S	\$	1,632,394.97
DIRECT DEBITS	\$	53,887.70
BPAY	\$	128,730.48
TOTAL	MUNICIPAL FUND	<u>\$ 1,815,309.45</u>

30/04/2024

<u>TRUST FUND</u>		
CHEQUES		\$0.00
EFT'S		\$0.00
TRANSFER		\$0.00
TOTAL		<u>\$0.00</u>

Payment Details - Cheque

Payment / Invoice	Date Description	Amount
Cheque		
Cheque - 33853		
V82531 - PLEASE PAY CASH		
PETTY CASH APRIL 2024	23/04/24 Petty Cash	296.30
	Total V82531	296.30
	Total 33853	296.30
	Grand Total - Cheque	296.30

Payment Details - EFT

Payment / Invoice	Date Description	Amount
EFT Payment		
EFT Payment - EFT01233		
V80003 - Redgum Reports Inc		
202116069	01/02/24 Shire Matters 2023/2023 financial year	1,821.60
20210883	14/03/24 Shire Matters 2023/2023 financial year	2,460.00
20211115	09/04/24 Redgum Reports annual subscription	118.45
20210883A	11/07/23 Advertising Shire Matters 2022 / 2023 Financial Year	14.52
Total V80003		4,414.67
V80033 - Derricks Auto-Ag & Hardware Plus		
10338199	09/04/24 Materials and Contracts (ALL)	450.00
10338205	09/04/24 RATCHET TIE DOWN STRAPS 225KG PK4	21.00
Total V80033		471.00
V80102 - Westrac Equipment		
9456610	27/03/24 FUEL- OIL & AIR FILTERS	786.94
9301157	09/04/24 OIL SAMPLE KITS	676.50
Total V80102		1,463.44
V80163 - Badgingarra Community Assn		
2024 #23	04/01/24 Badgy General Maintenance Contract 2023-24	4,581.69
2024#24A	01/04/24 Shire Matters 2023/2024 Issue # 175	292.60
Total V80163		4,874.29
V80240 - RBC Rural		
32937	16/03/24 Meterplan charge March 2024	1,334.67
32888A	21/02/24 Meterplan charge February 2024	705.31
Total V80240		2,039.98
V81097 - Australia Post		
1013144725	09/04/24 Postage & Freight	381.30
Total V81097		381.30
V81831 - Truck Centre (Wa) Pty Ltd		
AR229710A	09/04/24 Registration	183.10
Total V81831		183.10
V81874 - Child Support		
PJ004310	26/03/24 PAY01 2024-20 - From Payroll	5.44
Total V81874		5.44
V81973 - Fuel Distributors of WA Pty Ltd		
42108324	05/04/24 Diesel	15,379.76
Total V81973		15,379.76
V82166 - David Gray & Co Pty Ltd		
1638824	26/03/24 Additional Bins - 20 Green Bins with accessories	1,386.00
Total V82166		1,386.00
V82274 - Vari-Skilled		
198	06/03/24 Mowing Contract as per tender, PO for 2023-24	19,505.84
Total V82274		19,505.84
V82362 - Jurien Auto Electrics		
Q0300	08/04/24 Fix electrical fault	200.00
Total V82362		200.00
V82474 - Direct Contracting Pty Ltd		
2742	09/04/24 Speed hump to be installed near info bay.	1,699.50

Payment Details - EFT

Payment / Invoice	Date Description	Amount
2745	04/04/24 Repair to sink holes 3x Badgingarra	1,655.50
2746	09/04/24 Signs for Bidgerabbie Rd	12.00
2746A	09/04/24 Signs for Bidgerabbie Rd	1,000.00
Total V82474		4,367.00
V82643 - Officeworks Business Direct		
613446048/613500 674	15/03/24 Printing and Stationery	343.49
613563767/613446 048	27/03/24 Printing and Stationery	512.09
Total V82643		855.58
V82774 - T-Quip		
127046#32	08/04/24 WHEEL SUPPORT ARM	235.05
Total V82774		235.05
V83121 - Dandaragan Community Resource Centre Inc		
125456	10/02/24 Pioneer Park/ Dand Depot Cleaning Contract November 22 to April 2023	1,756.22
Total V83121		1,756.22
V83495 - Dandaragan Store		
MARCH 2023	09/04/24 Refreshments	16.80
Total V83495		16.80
V83583 - Coastal Digging		
2216	26/03/24 Relocate old archive transportable	550.00
Total V83583		550.00
V83817 - WCP Civil Pty Ltd		
30949	09/04/24 Wetmix Gillingarra	29,625.89
Total V83817		29,625.89
V83863 - Badgingarra Roadhouse & Tourist Park		
2297232	09/04/24 Diesel	43.40
Total V83863		43.40
V83979 - Turquoise Coast Plumbing Gas & Excavation		
2357	26/03/24 Cerv. tip leak detection	938.00
Total V83979		938.00
V84124 - Monsterball Amusements & Hire		
18753013A	08/04/24 Monsterball Equipment Hire	9,245.00
Total V84124		9,245.00
V84273 - Building And Energy		
BSL MARCH 2024	09/04/24 BSL March 2024	6,480.41
Total V84273		6,480.41
V84371 - Nessa Hall - Nesity Cleaning Management Services		
8080	09/04/24 Fauntleroy Park BBQ & Ablutions	7,259.29
8079	09/04/24 Cervantes CBD	4,467.38
8061	09/04/24 Sandy Cape Toilets & Showers	5,919.78
8081	09/04/24 Sandy Cape Toilets & Showers	5,919.78
8058	13/03/24 Cervantes CBD	4,467.38
8082	09/04/24 Jumbo Toilet Rolls - Pavillion toilets	274.89
Total V84371		28,308.50

Payment Details - EFT

Payment / Invoice	Date Description	Amount
V84568 - Ignite Electrical		
2911	28/03/24 disconnect archive building	126.50
2910	28/03/24 Mem. Pk. replace faulty lights	852.45
	Total V84568	978.95
V84928 - Whitney Consulting		
0719	03/04/24 Other Materials and Contracts Expenses	8,250.00
	Total V84928	8,250.00
V84932 - Roberta McBroom		
REFUND APP FEE DA42/2024	09/04/24 Development Application Fees	295.00
	Total V84932	295.00
	Total EFT01233	146,330.62
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EFT Payment - EFT01231		
V80021 - BOC Gases		
5006335624	02/04/24 Gas Bottle Hire	76.60
	Total V80021	76.60
V80033 - Derricks Auto-Ag & Hardware Plus		
10337339	28/03/24 Trailer chain	114.00
	Total V80033	114.00
V80137 - Western Australian Local Government Association		
25808/26290	01/02/24 Members Training - Tony O'Gorman	880.00
	Total V80137	880.00
V80549 - BP Jurien Bay		
10934	19/03/24 tyres for spray ute dn015	769.90
10941	25/03/24 new battery retic ute dn149	258.00
	Total V80549	1,027.90
V80910 - Mcleods Barristers And Solicitors		
134741	02/04/24 Legal Expenses - Cervantes Country Club Lease Preparation and Surrender	447.26
	Total V80910	447.26
V81031 - AN & A Whybrow		
4870	25/03/24 Machinery Inc 655614 Brand Mullering	5,621.00
	Total V81031	5,621.00
V81382 - Cervantes Hardware and Marine		
188198/188553	01/03/24 Monthly March \$100per purchase	132.09
188281	07/03/24 150mm jointers	330.00
	Total V81382	462.09
V81593 - Worldwide Joondalup Malaga		
607535	12/03/24 Printing SC Permits/Envelopes x 5000	5,950.00
	Total V81593	5,950.00
V81795 - Jurien Bay Community Resource Centre		
2596	21/03/24 Printing Dog Area Flyers	96.35
	Total V81795	96.35
V81831 - Truck Centre (Wa) Pty Ltd		
AR229708	27/03/24 Volvo FMx 13 HBX 6x4 prime mover as per specifications attached	334,994.00

Payment Details - EFT

Payment / Invoice	Date	Description	Amount
Total V81831			334,994.00
V81889 - ABCorp Australasia Pty Ltd			
65394	29/02/24	Labels/barcodes incl freight	473.00
Total V81889			473.00
V82028 - Avon Waste			
61719	28/03/24	Waste Collection	15,319.40
Total V82028			15,319.40
V83145 - Avdata Australia			
JURIEN BAY STATFMFNT 146	02/04/24	Jurien Bay Flight Data March 2024	321.57
Total V83145			321.57
V83298 - Cervantes Aluminium & Steel Fabrication			
1815	06/02/24	Metal art	586.90
Total V83298			586.90
V83480 - Jurien Bay Newsagency			
351	02/04/24	Printing and Stationery	83.50
Total V83480			83.50
V83660 - D Greenwood			
53	02/04/24	Waste Management	1,280.00
Total V83660			1,280.00
V83914 - Turquoise Safaris			
OP RETURN 27/03/2024	02/04/24	Op Return 27/03/2024	201.25
OP RETURN 02/04/2024	02/04/24	Op Return 02/04/2024	455.00
Total V83914			656.25
V84004 - Department of Water and Environmental Regulation			
TF038918	02/04/24	Controlled Waste DEC tracking	572.00
Total V84004			572.00
V84530 - Peter Miley			
202411	21/03/24	mainline repair jurien oval	396.00
202410	15/02/24	excavator hire x 8hrs depot trees	792.00
Total V84530			1,188.00
V84568 - Ignite Electrical			
2914	13/02/24	electrical work and wire new pump	400.00
2913	13/02/24	cervantes oval diagnose fault	200.00
Total V84568			600.00
V84635 - Australian Library and Information Association			
27770	20/02/24	National Simultaneous Story Time 2024	279.80
Total V84635			279.80
V84800 - Wheatbelt Vet Services			
155276	05/03/24	Care of impounded dogs 0187-0191	1,422.80
Total V84800			1,422.80
V84868 - Marketforce Connect (Omnicon Media Group)			
1725079	26/02/24	Intention to Dispose - Lot 7 Dandaragan Road	405.53
Total V84868			405.53
V84889 - M & B Errington			
96	28/03/24	Gravel Supply for Jurien East Rd	34,122.00
Total V84889			34,122.00

Payment Details - EFT

Payment / Invoice	Date Description	Amount
V84927 - J G M Ricaud		
OVERPAYMENT OF RATES	02/04/24 Overpayment of Rates	75.74
	Total V84927	75.74
	Total EFT01231	407,055.69
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EFT Payment - EFT01236		
V80021 - BOC Gases		
5006217627	23/04/24 Gas rental and usage	148.78
	Total V80021	148.78
V80033 - Derricks Auto-Ag & Hardware Plus		
10339265	19/04/24 CAM LOCK AND GALV PIPE FITTINGS	201.00
	Total V80033	201.00
V80202 - Jurien Plumbing		
7869	09/04/24 Repair to main water line in yard	506.00
	Total V80202	506.00
V81343 - Dandaragan Mechanical Services		
11558	19/04/24 OIL & AIR FILER	108.45
11570	23/04/24 12V BATTERY	122.80
	Total V81343	231.25
V81924 - Team Global Express Pty Ltd		
651	24/04/24 Freight for Dandaragan Depot	173.26
652	24/04/24 Freight	588.34
650	24/04/24 Freight Jurien Office	73.14
	Total V81924	834.74
V81973 - Fuel Distributors of WA Pty Ltd		
00548331	19/04/24 engine oil 2x 20 ltr	332.85
	Total V81973	332.85
V82028 - Avon Waste		
62246	24/04/24 Waste Contract	17,953.93
	Total V82028	17,953.93
V82474 - Direct Contracting Pty Ltd		
2752	19/04/24 Gravel Carting to Munbinea Road	2,068.00
	Total V82474	2,068.00
V82557 - Moora Toyota		
JC14004169	05/04/24 Remove old two and fit customer supplied new two way	140.00
PI13002915	11/04/24 Dash mat	90.00
RI11100056	23/04/24 Changeover of PLV 238 - purchase Hilux Spacecab	58,313.70
RI11100056A	23/04/24 Changeover of PLV 238 - purchase Hilux Spacecab	202.55
	Total V82557	58,746.25
V82767 - Fowler Electrical Contracting		
R009748	19/04/24 repairs to external lighting DCC	1,281.93
	Total V82767	1,281.93
V82773 - Cookies Coastal Earthworks		
B176	22/03/24 Spread mulch in swales	2,849.00
	Total V82773	2,849.00
V83094 - Dave Watson Contracting Pty Ltd		

Payment Details - EFT

Payment / Invoice	Date Description	Amount
3317	12/03/24 pruning Walyoo Rd	1.00
3317A	19/04/24 Pruning Walyoo Rd	21,724.00
	Total V83094	21,725.00
V83437 - Brook Marsh Pty Ltd		
30010742	23/04/24 Survey works for Dandaragan Road Town Shared Path and Drainage as per attached quote	12,771.00
	Total V83437	12,771.00
V83571 - Jurien Concrete Services		
3903	03/04/24 Excavator hire and 8x con blocks	560.00
	Total V83571	560.00
V83705 - Telstra		
U4169079 MARCH 2024	24/04/24 Whispir SMS Service	159.50
	Total V83705	159.50
V84155 - Jurien Home Hardware - (was Thrifty Link)		
24-00013565	04/04/24 Work boots	227.05
	Total V84155	227.05
V84273 - Building And Energy		
BSL REMITTANCE MARCH 24	23/04/24 BSL Remittance March 24	907.90
	Total V84273	907.90
V84765 - Magnet Engineering Dandaragan Pty Ltd		
214	17/04/24 MAKE STEPS FOR SIDE OF TRUCK AND MOUNT TO TRUCK	1,262.80
	Total V84765	1,262.80
V84774 - Stihl Shop Midland		
18405#7	02/04/24 Polesaw head	541.20
	Total V84774	541.20
V84789 - Jurien Bay Mitre 10		
101024588	18/04/24 mitre 10. 101024588 paint and rollers repo. rm.	301.50
101024306	15/04/24 nails,gas, sanding sheets	258.00
104000852	12/04/24 JCC timber,cement sheet and fixings	871.22
102007590	09/04/24 102007590 Catalonia Pk timber for gazebos	245.10
101023670	08/04/24 Extension cords & Cable ties	47.95
102007578	08/04/24 sander for foreshore gazebos	269.00
	Total V84789	1,992.77
V84934 - CA & P Bell		
REFUND OVER PAYMENT OF	24/04/24 Refund LOT 665 Baters Way Jurien Bay	626.50
	Total V84934	626.50
V84935 - R & M Knight		
RATES REFUND	24/04/24 Rates overpayment	2,000.19
	Total V84935	2,000.19
	Total EFT01236	132,007.64

EFT Payment - EFT01234

V80033 - Derricks Auto-Ag & Hardware Plus

10338268	10/04/24 Electrical board and lead	110.30
	Total V80033	110.30

V80150 - RDI Transport

7580	08/04/24 Additional Bins Delivery	130.00
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Payment Details - EFT

Payment / Invoice	Date Description	Amount
	Total V80150	130.00
V81874 - Child Support		
PJ004319	09/04/24 PAY01 2024-21 - From Payroll	5.44
	Total V81874	5.44
V82474 - Direct Contracting Pty Ltd		
2747	10/04/24 Drainage from slk 12 to 20	38,500.00
2748	10/04/24 Construct and seal remaining 750m of Sandy Cape Rd on the new alignment	71,500.00
	Total V82474	110,000.00
V82643 - Officeworks Business Direct		
613672088	11/04/24 items for NVW Gift pack	176.78
	Total V82643	176.78
V83187 - Wayne Gibson (Cr)		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	4,866.25
	Total V83187	4,866.25
V83464 - Grants Empire		
2304	10/04/24 Consultancy - Housing Support Program Grant Application	1,320.00
	Total V83464	1,320.00
V84004 - Department of Water and Environmental Regulation		
WL7004/2024/AF	04/04/24 Jurien Waste Management Facility Annual Licence Fee	1,042.80
	Total V84004	1,042.80
V84049 - Jason Clarke, Cr		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	4,866.25
	Total V84049	4,866.25
V84599 - Maddi McDonald Cr		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	5,866.25
	Total V84599	5,866.25
V84602 - Rose Glasfurd (Cr)		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	4,866.25
	Total V84602	4,866.25
V84787 - Lawn Doctor's Turf Solutions		
00722285	11/04/24 repair damaged turf dandaragan oval from iluka event	3,520.00
	Total V84787	3,520.00
V84870 - Anthony O'Gorman (CR)		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	11,055.00
	Total V84870	11,055.00
V84871 - Sharon Young (Cr)		
3RD QTR 2023/24	11/04/24 3RD QTR 2023/24	4,866.25
	Total V84871	4,866.25
	Total EFT01234	152,691.57
EFT Payment - EFT01235		
V80033 - Derricks Auto-Ag & Hardware Plus		
10338848	15/04/24 PETROL DRIVEN AIR COMPRESSOR	2,899.00
10339056	17/04/24 AIR FITTINGS	24.50
	Total V80033	2,923.50

Payment Details - EFT

Payment / Invoice	Date Description	Amount
V80162 - Badgingarra Bowling Club (Inc)		
341	01/04/24 Refreshments FCO AGM	410.00
	Total V80162	410.00
V80240 - RBC Rural		
33025	18/04/24 Meterplan charge April 2024	1,174.45
	Total V80240	1,174.45
V80405 - Coastal Trimming		
9182	09/04/24 Seat cover for 624J loader	220.00
	Total V80405	220.00
V81343 - Dandaragan Mechanical Services		
11526	09/04/24 12VOLT BATTERYYS	519.20
11533	12/04/24 12V BATTERYYS FOR 12M GRADER	853.60
	Total V81343	1,372.80
V81480 - Jurien Bay Service Station & Roadhouse		
736001	17/04/24 Phone charge AB Work Phone	25.00
	Total V81480	25.00
V81490 - Ricoh Finance		
584518	09/04/24 Photocopier Lease	966.79
	Total V81490	966.79
V81795 - Jurien Bay Community Resource Centre		
2199	14/12/23 Shire Matters - 2022/2023 finacial year	1,564.00
2521	14/12/23 Shire Matters - 2022/2023 finacial year	2,082.00
2588	14/12/23 Shire Matters - 2022/2023 finacial year	1,908.50
ADJUSTMENT	14/12/23	
	Total V81795	5,554.50
V81912 - Moore Australia (WA) Pty Ltd		
434883	31/03/24 Consultancy - Review of Risk Management (Audit Reg 17)	3,850.00
4217	12/04/24 Moore Australia Training - Financial reporting & Management reporting workshops	2,816.00
	Total V81912	6,666.00
V82388 - Tony Dolton		
4636	17/04/24 Gravel Carting and plant hire for Gillingarra Rd	64,394.00
4634	16/04/24 assorted truck hire - Munbinea south section	25,212.00
4635	16/04/24 assorted truck hire - Munbinea south section	43,538.00
	Total V82388	133,144.00
V82474 - Direct Contracting Pty Ltd		
2750	12/04/24 Fix sand holes internal roads	2,500.00
2749	11/04/24 emergency repairs to Nambung Rd	4,312.00
	Total V82474	6,812.00
V82557 - Moora Toyota		
RI11100062	18/04/24 Changeover of PLV236 for Hilux Spacecab - DN059	58,450.90
	Total V82557	58,450.90
V82876 - Department of Transport		
4175501	02/02/24 Recoup of expenses from other Govt related entities	288.89
	Total V82876	288.89
V83437 - Brook Marsh Pty Ltd		

Payment Details - EFT

Payment / Invoice	Date Description	Amount
30010733	16/04/24 Crown Land Subdivision Lots 700 and 701 on DP426354	6,820.00
Total V83437		6,820.00
V83507 - CouncilFirst		
SI008352	26/03/24 STP Transaction Feb 24	55.00
SI008334	01/01/24 M365 Licencing July 2023 to June 2024	1,773.06
SI008321	01/11/23 CouncilFirst Production Subscription July-Sept 2023	22,826.83
SI008398	17/04/24 Jet Reports Software Maintenance	2,154.45
SI008396	01/01/24 M365 Licencing July 2023 to June 2024	1,809.25
Total V83507		28,618.59
V83736 - Waterlogic Australia Pty Ltd		
CD 3738943	01/03/24 Jurien Admin, Civic Centre & Depot Water Filter Lease June 2023-July 2024	336.66
Total V83736		336.66
V83780 - Pinnacles Traffic Management Services		
228	26/03/24 Traffic control Gillingarra Rd	6,630.25
Total V83780		6,630.25
V84478 - Vestone Capital		
123875	18/03/24 Councillor Laptop Lease 02/01/24 to 01/04/24	2,184.19
Total V84478		2,184.19
V84678 - JAV Brown and Sons		
46	25/03/24 Supply of 5274 Kl of water for the construction of Dandaragan Rd @ \$1.50KL	8,702.10
48	18/04/24 Supply of 3065KL of water for Gillingarra Rd @ \$1.50KL	7,037.25
Total V84678		15,739.35
V84809 - Jurien Steel		
396	07/03/24 sign cage steel	32.74
458	15/04/24 Experiment with Dustex to help with dust along Limestone Way	4,136.00
Total V84809		4,168.74
V84877 - Craig and Carolyn Barr		
VOLUNTEER FUEL RFIMBURSFMENT	16/04/24 Volunteer Fuel Reimbursement - Oct to April	227.42
Total V84877		227.42
V84896 - Sally Ridge		
357	16/04/24 Trucker Cap Workshop	1,166.00
Total V84896		1,166.00
V84929 - Coastal Mobile Auto Repairs		
5644	12/04/24 Mazda DN041 (PLV 244) Car Service	581.85
Total V84929		581.85
Total EFT01235		284,481.88

EFT Payment - EFT01237

V80033 - Derricks Auto-Ag & Hardware Plus

10340220	26/03/24 4 inch Kohler transfer pump	22,000.00
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Total V80033 **22,000.00**

V80137 - Western Australian Local Government Association

Payment Details - EFT

Payment / Invoice	Date Description	Amount
26625	08/04/24 Staff Training HR Tool Kit for Managers	1,089.00
	Total V80137	1,089.00
V80549 - BP Jurien Bay		
10963	16/04/24 tyre repair retic ute	65.00
	Total V80549	65.00
V80704 - Badgingarra CWA		
37	18/04/24 April 2024 Badgingarra Council Meeting	120.00
	Total V80704	120.00
V81352 - Jurien Signs		
7250	27/03/24 Sign replacement near memorial JB	506.00
7251	22/04/24 School bus signs	717.20
	Total V81352	1,223.20
V81490 - Ricoh Finance		
591762	22/04/24 Photocopier Lease April 2024	966.79
	Total V81490	966.79
V81874 - Child Support		
PJ004331	23/04/24 PAY01 2024-22 - From Payroll	5.44
	Total V81874	5.44
V81924 - Team Global Express Pty Ltd		
653	30/04/24 Freight	59.62
	Total V81924	59.62
V82170 - Quality Press		
077633	09/04/24 Destination magnets	665.50
	Total V82170	665.50
V82274 - Vari-Skilled		
234	21/03/24 Weed control and tree maintenance in swales	5,500.00
	Total V82274	5,500.00
V82474 - Direct Contracting Pty Ltd		
2757	10/04/24 Drainage from slk 12 to 20	9,663.50
2755/2756	30/04/24 Jurien East Rd - batter works and minor widening as per estimate	24,948.00
	Total V82474	34,611.50
V82823 - The Last Drop Plumbing Co		
5879	29/04/24 Standpipe Clarke Dandaragan Testing	2,992.00
	Total V82823	2,992.00
V83094 - Dave Watson Contracting Pty Ltd		
3325/3324	19/04/24 Pruning Walyoo Rd	57,860.00
	Total V83094	57,860.00
V83327 - Coles Group Limited		
CGC1123496	15/04/24 Gift Card	264.85
	Total V83327	264.85
V83340 - CONNECT Call Centre Services		
116544	30/04/24 After Hours Calls - July 2023 - June 2024 for the month of June 2023	497.64
	Total V83340	497.64
V83365 - Bitutek Pty Ltd		
7836	29/04/24 seal tip cell road	2,262.85

Payment Details - EFT

Payment / Invoice	Date Description	Amount
7836A	06/03/24 Shire of Dandaragan 2023-24 Sealing Program	148,885.66
	Total V83365	151,148.51
V83464 - Grants Empire		
2310	10/04/24 Consultancy - Housing Support Program Grant Application	1,320.00
	Total V83464	1,320.00
V83480 - Jurien Bay Newsagency		
28787/28791	24/04/24 Printing and Stationery	42.95
	Total V83480	42.95
V83507 - CouncilFirst		
SI008410	19/04/24 STP Transactions March 24	55.00
	Total V83507	55.00
V83735 - Shire of Mingenew		
10548	23/04/24 OH&S Expenses	236.78
	Total V83735	236.78
V84153 - BGM Electrical Pty Ltd		
1185	15/03/24 Service bore panels for SPs (annual)	1,051.87
	Total V84153	1,051.87
V84155 - Jurien Home Hardware - (was Thrifty Link)		
24-00016269	23/04/24 Boots	179.55
	Total V84155	179.55
V84612 - Water Technology Pty Ltd		
WT014794	24/04/24 Cervantes Coastal Resilience Scheme	17,619.25
	Total V84612	17,619.25
V84774 - Stihl Shop Midland		
18420	05/03/24 Fuel tank for pole hedger	132.50
18421	22/04/24 Bars and chains for chainsaws	430.00
	Total V84774	562.50
V84787 - Lawn Doctor's Turf Solutions		
722285	29/04/24 repair damaged turf Dandaragan Oval	3,520.00
	Total V84787	3,520.00
V84857 - Ruby Repairs Pty Ltd		
174	26/04/24 Treadle valve for truck	1,991.35
	Total V84857	1,991.35
V84868 - Marketforce Connect (Omnicon Media Group)		
1735156	03/04/24 Notice of Intent to Dispose	395.45
1735155	25/03/24 Death Notice	110.90
	Total V84868	506.35
V84936 - Ian Butters		
REFUND	24/04/24 Sandy Cape Camping	40.00
	Total V84936	40.00
	Total EFT01237	306,194.65
EFT Payment - EFT01232		
V80043 - Jurien Bay IGA		
ACCOUNT MARCH 2024	04/04/24 Refreshments	991.35
	Total V80043	991.35

Payment Details - EFT

Payment / Invoice	Date	Description	Amount
V81352 - Jurien Signs			
7213	20/03/24	Office Refurb Grant Signage	374.00
7212	04/04/24	Rural Street Numbering - Dandaragan Museum - #3466RRN	35.00
Total V81352			409.00
V81382 - Cervantes Hardware and Marine			
18546	04/04/24	Postage & Freight	50.00
Total V81382			50.00
V81924 - Team Global Express Pty Ltd			
649	03/04/24	Freight for Sandy Cape envelopes	85.34
Total V81924			85.34
V83427 - Bridged Group Pty Ltd			
64539	01/01/24	Office 365 Datto Backup Aug 23	198.00
Total V83427			198.00
V83507 - CouncilFirst			
SI008356	01/01/24	Professional Services October 23	9,693.75
SI008370	03/04/24	IT Operations	3,296.50
SI008373/3/CRSCUUU 696	03/04/24	Council First Licences changes for Apr to Jun 24	7,326.00
Total V83507			20,316.25
V83736 - Waterlogic Australia Pty Ltd			
CD-3760545/CD- 3754147	01/02/24	Jurien Admin, Civic Centre & Depot Water Filter Lease June 2023-July 2024	1,552.37
Total V83736			1,552.37
V83780 - Pinnacles Traffic Management Services			
227	26/03/24	Traffic control Gillingarra Rd	12,386.00
Total V83780			12,386.00
V84031 - Down to Earth Training & Assessing			
0004070	20/03/24	Staff Training Traffic Management Control	400.00
Total V84031			400.00
V84037 - Jurien Bay Regional Herbarium Group			
23-002	30/01/24	2 year environmental grant	10,000.00
Total V84037			10,000.00
V84117 - Vanguard Press			
41738	03/04/24	TC Visitor Guide distribution	549.77
Total V84117			549.77
V84155 - Jurien Home Hardware - (was Thrifty Link)			
MARCH PO 83704	05/03/24	March - Rangers	160.97
MARCH PO 83699	01/03/24	Monthly March \$100per purchase	370.14
00011622	22/03/24	Uniform	401.66
00012192	27/03/24	Twin pack hand held two way for road crew	189.05
00010372	13/03/24	cover for Maintenance trailer	118.75
MARCH PO 83704/2	05/03/24	March - Rangers	92.00
24-00009647	05/04/24	Pound Operating Costs	70.30
Total V84155			1,402.87
V84391 - Innes Air & Electrical Pty Ltd			
03780	03/04/24	Aircon works for Shire Admin Centre refurb	146,388.34
Total V84391			146,388.34

Payment Details - EFT

Payment / Invoice	Date Description	Amount
V84554 - Cloud Collections Pty Ltd		
5085	04/04/24 Legal Expenses	1,587.85
0518	04/04/24 Legal Expenses	993.00
	Total V84554	2,580.85
V84562 - CouncilWise Pty Ltd		
CW-0671	03/04/24 IT Operations	3,272.50
	Total V84562	3,272.50
V84568 - Ignite Electrical		
2912	28/03/24 daycare tap tingle	189.75
2920	03/04/24 Annual ongoing maintenance to TV transmitting equipment - Jurien Bay	222.97
	Total V84568	412.72
V84612 - Water Technology Pty Ltd		
WT014715	03/04/24 Summary Document of Coastal Adaptation Investigation (22040006)	590.05
	Total V84612	590.05
V84784 - Jomar (WA) Pty Ltd		
IN0549	03/04/24 Level 1 Bridge Inspection 2023-2024 - Munbinea Bridge	1,045.00
	Total V84784	1,045.00
V84789 - Jurien Bay Mitre 10		
101021570	01/03/24 Monthly March \$100per purchase	78.71
MARCH PO83713	06/03/24 March standing order building maintenance	64.50
101022902	07/03/24 Rangers - March	44.95
101022940	07/03/24 Rangers - March	28.75
101022996	02/04/24 Badgingarra Public Toilets	290.60
	Total V84789	507.51
V84930 - R & J Hepple		
CROSSOVER CONTRIBUTION	04/04/24 Crossover	495.00
	Total V84930	495.00
	Total EFT01232	203,632.92
Grand Total - EFT Payment		1,632,394.97

Payment Details - Direct Debits

Date	Payment / Invoice	Description	Amount
2/04/2024	GJBDEB-5551	Synergy - Dam Pump	-\$ 2,036.50
2/04/2024	GJBDEB-5552	Water - Dandy Community Centre	-\$ 619.27
2/04/2024	GJBDEB-5553	Water - Dandaragan Depot	-\$ 149.08
2/04/2024	GJBDEB-5628	BPAY Transaction Fee	-\$ 300.00
2/04/2024	GJBDEB-5629	Maintenance Fee	-\$ 20.00
2/04/2024	GJBDEB-5630	WESTNET - Annual Mailbox	-\$ 100.00
2/04/2024	GJBDEB-5631	ANZ Merchant fee - March 2024	-\$ 319.34
2/04/2024	GJBDEB-5632	Unallocated Water corp	-\$ 366.84
3/04/2024	GJBDEB-5634	WEX Motorpass - Apr 2024	-\$ 6,080.77
3/04/2024	GJBDEB-5635	CBA Merchant Fee #3111	-\$ 53.13
3/04/2024	GJBDEB-5636	CBA Merchant Fee #3305	-\$ 377.16
4/04/2024	GJBDEB-5554	Synergy - Unit B Dandaragan Rd	-\$ 109.54
9/04/2024	GJBDEB-5566	Synergy - Dobbyn Park Nth End	-\$ 285.71
9/04/2024	GJBDEB-5566	Synergy - JB Cafe & Pavilion Ablutions	-\$ 49.00
9/04/2024	GJBDEB-5633	Synergy - Jurien Bay Cafe	-\$ 368.49
10/04/2024	GJBDEB-5567	Synergy - Jurien Airstrip	-\$ 145.59
11/04/2024	GJBDEB-5568	Synergy - Pinetree CCT	-\$ 550.33
11/04/2024	GJBDEB-5569	Synergy - Family Resource Centre	-\$ 2,443.08
11/04/2024	GJBDEB-5570	Synergy - Passamani Park	-\$ 249.04
11/04/2024	GJBDEB-5571	Synergy - Pioneer Park Nth End	-\$ 227.44
12/04/2024	GJBDEB-5601	Synergy - Pacman Park	-\$ 629.55
12/04/2024	GJBDEB-5602	Synergy - Bore at Marine Fields	-\$ 74.79
12/04/2024	GJBDEB-5603	Synergy - Baudin Park	-\$ 303.47
15/04/2024	GJBDEB-5604	Synergy - Flauntleroy and Dobbyn Parks	-\$ 612.92
15/04/2024	GJBDEB-5609	Synergy - Adjustment Jurien Bay Depot	-\$ 4.74
15/04/2024	GJBDEB-5638	Securepay ZDN00	-\$ 506.92
16/04/2024	GJBDEB-5605	Synergy - Park OP sales Office	-\$ 120.77
16/04/2024	GJBDEB-5606	Synergy - Beachridge Estate Entry	-\$ 118.32
17/04/2024	GJBDEB-5661	MC - Knight Health - Preplacement Medical	-\$ 101.50
17/04/2024	GJBDEB-5662	MC - Housing Industry Association	-\$ 9.99
17/04/2024	GJBDEB-5663	MC - Express Online Training - White Card	-\$ 44.59
17/04/2024	GJBDEB-5664	MC - Jetty Kiosk	-\$ 50.00
17/04/2024	GJBDEB-5665	MC - Knight Health - Preplacement Medical	-\$ 174.80
17/04/2024	GJBDEB-5665	MC - Ocean Clipper Inn - Accommodation	-\$ 436.45
17/04/2024	GJBDEB-5665	MC - Foreign Transaction Fee	-\$ 0.39
17/04/2024	GJBDEB-5665	MC - Facebook - Advertising	-\$ 13.20
17/04/2024	GJBDEB-5665	MC - Foreign Transaction Fee	-\$ 0.29
17/04/2024	GJBDEB-5665	MC - Pivotal Satellite - Sat phone for fire staff	-\$ 98.00
17/04/2024	GJBDEB-5665	MC - Facebook - Advertising	-\$ 9.90
17/04/2024	GJBDEB-5665	MC - Foreign Transaction Fee	-\$ 0.10
17/04/2024	GJBDEB-5665	MC - Foreign Transaction Fee	-\$ 0.13
17/04/2024	GJBDEB-5665	MC - Foreign Transaction Fee	-\$ 0.19

17/04/2024	GJBDEB-5666	MC - Facebook - Advertising	-\$	3.30
17/04/2024	GJBDEB-5667	MC - Facebook - Advertising	-\$	4.40
17/04/2024	GJBDEB-5668	MC - Facebook - Advertising	-\$	6.60
17/04/2024	GJBDEB-5669	MC - Foreign Transaction Fee	-\$	0.10
17/04/2024	GJBDEB-5670	MC - Facebook - Advertising	-\$	3.30
17/04/2024	GJBDEB-5671	MC - Aust. Institute of Management - Training	-\$	49.00
17/04/2024	GJBDEB-5672	MC - Foreign Transaction Fee	-\$	0.10
17/04/2024	GJBDEB-5673	MC - Johnson Tiles - Tiles	-\$	216.99
17/04/2024	GJBDEB-5674	MC - Facebook - Advertising	-\$	3.30
17/04/2024	GJBDEB-5675	MC - David Price Consulting	-\$	60.00
17/04/2024	GJBDEB-5676	MC - Emmision Assessment	-\$	66.00
17/04/2024	GJBDEB-5677	MC - Crown Perth - Accommodation	-\$	864.83
17/04/2024	GJBDEB-5678	MC - Metro Petroleum Jurien - Fuel	-\$	205.16
17/04/2024	GJBDEB-5679	MC - Aust. Institute of Management - Training	-\$	1,520.00
17/04/2024	GJBDEB-5680	MC - Our Community Pty Ltd - Subscription	-\$	400.00
17/04/2024	GJBDEB-5681	MC - Mailchimp - Subscription	-\$	92.44
18/04/2024	GJBDEB-5607	Synergy - Weston St Park	-\$	116.66
18/04/2024	GJBDEB-5608	Synergy - CBD Rest area Cervantes	-\$	168.52
19/04/2024	GJBDEB-5610	Synergy - Cambewarra Drive Spipe	-\$	4.09
19/04/2024	GJBDEB-5611	Synergy - Jurien F/S Amenities	-\$	334.62
19/04/2024	GJBDEB-5612	Synergy - Pioneer Park JBAY	-\$	260.19
19/04/2024	GJBDEB-5613	Synergy - Cervantes F/S Amenities	-\$	299.24
19/04/2024	GJBDEB-5614	Synergy - Cervantes Oval	-\$	2,154.31
19/04/2024	GJBDEB-5615	Synergy - Memorial Crn	-\$	300.78



Purchases by Cardholder
 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
 Web: www.motorpass.com.au



Account Name

SHIRE OF DANDARAGAN

Period Ending

01 APR 24

Account No.

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/ Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
0402		15MAR	10191	CALTEX JURIE BAY	31601005956	CALTEX	DN000		DIESEL	206.89	90.41	170.05	17.00	187.05
0402		15MAR		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			0.75	0.08	0.83
0402		18MAR	41386	METRO PETROLIUM JURIE B	11671759658	METRO	DN000		DIESEL	203.90	109.20	202.42	20.24	222.66
0402		18MAR		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			0.75	0.08	0.83
0402		28MAR	5450	COLES EXPRESS EDGEWATER	78104811216	COLES EXPRESS	DN000		DIESEL	195.89	59.42	105.82	10.58	116.40
0402		28MAR		WEX AUSTRALIA	68005970570		DN000		TRANSACTION FEE			2.33	0.23	2.56
0402		01APR		WEX AUSTRALIA	68005970570	CEO	DN000		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		259.03	\$486.53	\$48.65	\$535.18
COST CENTRE TOTAL		GOVERNANCE									259.03	\$486.53	\$48.65	\$535.18
1103		01APR		WEX AUSTRALIA	68005970570	SANDY CAPE			MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL		ECONOMIC DEVELOPMENT									0.00	\$4.41	\$0.44	\$4.85
1404		01APR		WEX AUSTRALIA	68005970570	JURIEN-SUNDRY PLANT			MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL		SUNDRY PLANT									0.00	\$4.41	\$0.44	\$4.85
1405		01APR		WEX AUSTRALIA	68005970570	DANDY DEPOT			MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
1405		07MAR	33492	CALTEX JURIE BAY	31601005956	CALTEX	DN032		DIESEL	206.89	46.71	87.85	8.79	96.64

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This document is issued by WEX Australia Pty Ltd, A.B.N. 68 005 970 570, Level 23, 367 Collins St, Melbourne VIC 3000.



Purchases by Cardholder
 ABN: 68 005 970 570
 GPO BOX 5342
 MELBOURNE VIC 3001
 Ph: 1300 366 109
 Fax: (03) 9274 9130
 Lost cards: 1300 366 109
 Web: www.motorpass.com.au



Account Name: SHIRE OF DANDARAGAN
 Account No.: 144 184 843 - 7

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
1405		07MAR		WEX AUSTRALIA	68005970570	DNO32	DNO32		TRANSACTION FEE			0.75	0.08	0.83
									TOTAL CARD SPEND		46.71	\$88.60	\$8.87	\$97.47
											46.71	\$93.01	\$9.31	\$102.32
COST CENTRE TOTAL INFRASTRUCTURE														
BMC		01MAR	7519	BP JURIE BAY	72825626712	BP	DN025	121,646	ULS DIESEL	205.02	75.63	140.96	14.10	155.06
BMC		01MAR		WEX AUSTRALIA	68005970570		DN025		TRANSACTION FEE			0.75	0.08	0.83
BMC		06MAR	33464	CALTEX JURIE BAY	31601005956	CALTEX	DN025		DIESEL	206.90	38.70	72.79	7.28	80.07
BMC		06MAR		WEX AUSTRALIA	68005970570		DN025		TRANSACTION FEE			0.75	0.08	0.83
BMC		15MAR	33750	CALTEX JURIE BAY	31601005956	CALTEX	DN025		DIESEL	206.91	79.84	150.18	15.02	165.20
BMC		15MAR		WEX AUSTRALIA	68005970570		DN025		TRANSACTION FEE			0.75	0.08	0.83
BMC		27MAR	34648	CALTEX JURIE BAY	31601005956	CALTEX	DN025		DIESEL	206.91	70.96	133.47	13.35	146.82
BMC		27MAR		WEX AUSTRALIA	68005970570		DN025		TRANSACTION FEE			0.75	0.08	0.83
BMC		01APR		WEX AUSTRALIA	68005970570		DN025		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		265.13	\$504.81	\$50.51	\$555.32
											265.13	\$504.81	\$50.51	\$555.32
COST CENTRE TOTAL INFRASTRUCTURE														
CEP		08MAR	7587	BP JURIE BAY	72825626712	BP	DN004		ULS DIESEL	205.05	39.82	74.23	7.42	81.65
CEP		08MAR		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
CEP		16MAR	13198	VIBE ASCOT	54157134969	VIBE	DN004		DIESEL	177.70	54.88	88.65	8.87	97.52
CEP		16MAR		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
CEP		18MAR	7655	BP JURIE BAY	72825626712	BP	DN004		ULS DIESEL	205.01	31.71	59.10	5.91	65.01
CEP		18MAR		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
CEP		23MAR	7714	BP JURIE BAY	72825626712	BP	DN004		ULS DIESEL	205.01	36.91	68.79	6.88	75.67
CEP		23MAR		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83

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Account Name
 SHIRE OF DANDARAGAN

Account No.
 144 184 843 - 7

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
CEP		29MAR	41574	METRO PETROLEUM JURIE B	11671759658	METRO	DN004		REGULAR ULP	202.84	19.34	35.66	3.57	39.23
CEP		29MAR		WEX AUSTRALIA	68005970570		DN004		TRANSACTION FEE			0.75	0.08	0.83
CEP		01APR		WEX AUSTRALIA	68005970570		DN004		MANAGEMENT FEE			4.41	0.44	4.85
						CEP			TOTAL CARD SPEND		182.66	\$334.59	\$33.49	\$368.08
											182.66	\$334.59	\$33.49	\$368.08
COST CENTRE TOTAL 402														
CESC		01MAR	1529	CALTEX JURIE BAY	31601005956	CALTEX	DN86		DIESEL	206.89	50.21	94.44	9.44	103.88
CESC		01MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			0.75	0.08	0.83
CESC		08MAR	33546	CALTEX JURIE BAY	31601005956	CALTEX	DN86		DIESEL	206.90	32.75	61.60	6.16	67.76
CESC		08MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			0.75	0.08	0.83
CESC		10MAR	920	COLES EXPRESS BRIGHTON	78104811216	COLES EXPRESS	DN86		DIESEL	195.90	38.02	67.71	6.77	74.48
CESC		10MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			1.49	0.15	1.64
CESC		15MAR	12256	PETRO FUELS CATABY	41609822684	INDEPENDENT	DN86		DIESEL	209.79	51.80	98.79	9.88	108.67
CESC		15MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			0.75	0.08	0.83
CESC		26MAR	34597	CALTEX JURIE BAY	31601005956	CALTEX	DN86		DIESEL	206.90	53.51	100.65	10.06	110.71
CESC		26MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			0.75	0.08	0.83
CESC		28MAR	34695	CALTEX JURIE BAY	31601005956	CALTEX	DN86		DIESEL	207.90	41.77	78.95	7.89	86.84
CESC		28MAR		WEX AUSTRALIA	68005970570		DN86		TRANSACTION FEE			0.75	0.08	0.83
CESC		01APR		WEX AUSTRALIA	68005970570		DN86		MANAGEMENT FEE			4.41	0.44	4.85
						CESC			TOTAL CARD SPEND		268.06	\$511.79	\$51.19	\$562.98
											268.06	\$511.79	\$51.19	\$562.98
COST CENTRE TOTAL FIRE PREVENTION														
DOPS	5912 1748	01APR		WEX AUSTRALIA	68005970570		DN024		MANAGEMENT FEE			4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85

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Account Name

SHIRE OF DANDARAGAN

Period Ending

01 APR 24

Account No.

144 184 843 - 7

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
COST CENTRE TOTAL INFRASTRUCTURE														
EDM		22MAR	22397	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN032		DIESEL	191.91	36.46	63.61	6.36	69.97
EDM		22MAR		WEX AUSTRALIA	68005970570		DN032		TRANSACTION FEE			0.75	0.08	0.83
EDM		01APR		WEX AUSTRALIA	68005970570		DN032		MANAGEMENT FEE			4.41	0.44	4.85
TOTAL CARD SPEND											36.46	\$68.77	\$6.88	\$75.65
COST CENTRE TOTAL INFRASTRUCTURE											36.46	\$68.77	\$6.88	\$75.65
7,777 ULS DIESEL (199.94														
EHO		02MAR	18798	BP AUSTRALIND	29006639087	BP	DN041		TRANSACTION FEE		49.79	90.50	9.05	99.55
EHO		02MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		04MAR	6102	BP AUSTRALIND	29006639087	BP	DN041		ULS DIESEL (199.94		49.05	89.15	8.92	98.07
EHO		04MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		08MAR	41204	METRO PETROLEUM JURIE B	11671759658	METRO	DN041		DIESEL	203.91	48.08	89.13	8.91	98.04
EHO		08MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		16MAR	16903	LEEMAN FUEL ALICIA CAFE	84146017638	INDEPENDENT	DN041		DIESEL	204.89	49.45	92.11	9.21	101.32
EHO		16MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		20MAR	33880	CALTEX JURIE BAY	31601005956	CALTEX	DN041		DIESEL	206.93	32.59	61.31	6.13	67.44
EHO		20MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		22MAR	10261	CALTEX JURIE BAY	31601005956	CALTEX	DN041		DIESEL	206.88	29.05	54.64	5.46	60.10
EHO		22MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		25MAR	215213	EG FUELCO TREENDALE	39627348645	EG FUELCO	DN041		DIESEL	196.90	45.42	81.30	8.13	89.43
EHO		25MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83
EHO		30MAR	16977	LEEMAN FUEL ALICIA CAFE	84146017638	INDEPENDENT	DN041		DIESEL	204.86	48.40	90.14	9.01	99.15
EHO		30MAR		WEX AUSTRALIA	68005970570		DN041		TRANSACTION FEE			0.75	0.08	0.83

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Account Name: SHIRE OF DANDARAGAN
 Account No.: 144 184 843 - 7

Period Ending: 01 APR 24
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
EHO	6658 1215	01APR		WEX AUSTRALIA	68005970570		DN041		MANAGEMENT FEE			4.41	0.44	4.85
Approx. fuel consumption: 6.6 Lt/100Km														
COST CENTRE TOTAL 701														
EHO						EHO			TOTAL CARD SPEND		351.83	\$658.69	\$65.90	\$724.59
COST CENTRE TOTAL 701														
EMDS		03MAR	28227	LIBERTY DALYELLUP	40651720222		DN001		SURCHARGE			1.44	0.14	1.58
EMDS		03MAR	28227	LIBERTY DALYELLUP	40651720222	LIBERTY	DN001		DIESEL	191.51	37.58	65.43	6.54	71.97
EMDS		03MAR		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		08MAR	1579	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	206.92	34.70	65.27	6.53	71.80
EMDS		08MAR		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
COST CENTRE TOTAL PLANNING														
EMDS		15MAR	33762	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	206.93	38.79	72.97	7.30	80.27
EMDS		15MAR		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		22MAR	10263	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	206.92	40.03	75.30	7.53	82.83
EMDS		22MAR		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		28MAR	34693	CALTEX JURIE BAY	31601005956	CALTEX	DN001		DIESEL	207.89	41.18	77.83	7.78	85.61
EMDS		28MAR		WEX AUSTRALIA	68005970570		DN001		TRANSACTION FEE			0.75	0.08	0.83
EMDS		01APR					DN001		REPLACEMENT CARD			8.00		8.00
EMDS		01APR		WEX AUSTRALIA	68005970570		DN001		MANAGEMENT FEE			4.41	0.44	4.85
COST CENTRE TOTAL PLANNING														
EMDS						EMDS			TOTAL CARD SPEND		120.00	\$240.76	\$23.29	\$264.05
COST CENTRE TOTAL PLANNING														
EMI		01MAR	33309	CALTEX JURIE BAY	31601005956	CALTEX	DN002		DIESEL	206.93	20.21	38.02	3.80	41.82

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Period Ending
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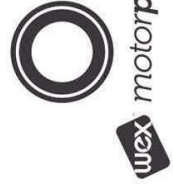
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
EMI		01MAR		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE		0.75	0.75	0.08	0.83
EMI		02MAR	14670	AMPOL NORTH WANNEROO	64000175342	AMPOL	DN002		DIESEL	191.91	51.41	89.69	8.97	98.66
EMI		02MAR		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE		0.75	0.75	0.08	0.83
EMI		10MAR	33572	CALTEX JURIE BAY	31601005956	CALTEX	DN002		DIESEL	206.89	64.88	122.03	12.20	134.23
EMI		10MAR		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE		0.75	0.75	0.08	0.83
EMI		22MAR	7711	BP JURIE BAY	72825626712	BP	DN002	666	ULS DIESEL (205.01		115.46	215.18	21.52	236.70
EMI		22MAR		WEX AUSTRALIA	68005970570		DN002		TRANSACTION FEE		0.75	0.75	0.08	0.83
EMI		01APR		WEX AUSTRALIA	68005970570	EMI	DN002		MANAGEMENT FEE		4.41	4.41	0.44	4.85
									TOTAL CARD SPEND		251.96	\$472.33	\$47.25	\$519.58
COST CENTRE TOTAL INFRASTRUCTURE														
JBOPS		01APR		WEX AUSTRALIA	68005970570		DN013		MANAGEMENT FEE		4.41	4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL INFRASTRUCTURE														
P&G CERVS		01APR		WEX AUSTRALIA	68005970570		DN059		MANAGEMENT FEE		4.41	4.41	0.44	4.85
									TOTAL CARD SPEND		0.00	\$4.41	\$0.44	\$4.85
COST CENTRE TOTAL 1405 JURIE UTE														
POOL CAR		06MAR	387352	EG FUELCO GERALDTON	39627348645	EG FUELCO			REGULAR ULP	193.89	44.54	78.51	7.85	86.36
POOL CAR		06MAR		WEX AUSTRALIA	68005970570				TRANSACTION FEE		0.75	0.75	0.08	0.83
POOL CAR		14MAR	41330	METRO PETROLEUM JURIE B	11671759658	METRO			PULP (RON 98	217.91	45.90	90.93	9.09	100.02

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Period Ending: 01 APR 24
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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
		14MAR		WEX AUSTRALIA	68005970570				TRANSACTION FEE			0.75	0.08	0.83
		20MAR	41426	METRO PETROLEUM JURIE B	11671759658	METRO			PULP (RON 95	207.89	25.47	48.14	4.81	52.95
		20MAR		WEX AUSTRALIA	68005970570				TRANSACTION FEE			0.75	0.08	0.83
		26MAR	41503	METRO PETROLEUM JURIE B	11671759658	METRO			PULP (RON 98	217.89	40.64	80.50	8.05	88.55
		26MAR		WEX AUSTRALIA	68005970570				TRANSACTION FEE			0.75	0.08	0.83
		01APR		WEX AUSTRALIA	68005970570				MANAGEMENT FEE			4.41	0.44	4.85
						DN016			TOTAL CARD SPEND		156.55	\$305.49	\$30.56	\$336.05
COST CENTRE TOTAL				INFRASTRUCTURE							156.55	\$305.49	\$30.56	\$336.05
		03MAR	33360	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	201.94	21.65	39.75	3.97	43.72
		03MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		03MAR	33344	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.94	23.48	44.17	4.42	48.59
		03MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		05MAR	33417	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.89	35.86	67.45	6.74	74.19
		05MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		06MAR	33451	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	201.84	9.80	17.98	1.80	19.78
		06MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		06MAR	33450	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.89	35.12	66.05	6.61	72.66
		06MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		11MAR	33611	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.93	55.58	104.55	10.46	115.01
		11MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		17MAR	33786	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.90	46.80	88.03	8.80	96.83
		17MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		18MAR	10222	CALTEX JURIE BAY	31601005956	CALTEX	DN012		REGULAR ULP	201.95	10.27	18.85	1.89	20.74
		18MAR		WEX AUSTRALIA	68005970570		DN012		TRANSACTION FEE			0.75	0.08	0.83
		23MAR	10270	CALTEX JURIE BAY	31601005956	CALTEX	DN012		DIESEL	206.91	46.75	87.94	8.79	96.73

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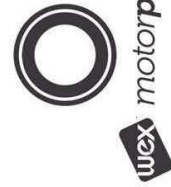
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Table with columns: Cost Centre, Card Number, Date, Docket Number, Supplier Name/Location, Supplier ABN#, Fuel Brand, Vehicle Rego / Ref., Odometer, Product, Unit Cost Incl. GST (CPL), Qty / Lts, Total Excl. GST, GST Amount, Total Incl. GST. Contains multiple rows for fuel transactions and summary totals for COST CENTRE TOTAL 501.

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Cost Centre	Card Number	Date	Docket Number	Supplier Name/Location	Supplier ABN#	Fuel Brand	Vehicle Rego / Ref.	Odometer	Product	Unit Cost Incl. GST (CPL)	Qty / Lts	Total Excl. GST	GST Amount	Total Incl. GST
RANGER UTE		13MAR	33666	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	206.87	32.46	61.05	6.10	67.15
RANGER UTE		13MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		15MAR	33727	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	206.89	42.55	80.03	8.00	88.03
RANGER UTE		15MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		20MAR	33877	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	206.90	32.46	61.05	6.11	67.16
RANGER UTE		20MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		21MAR	1663	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		REGULAR ULP	201.90	24.68	45.30	4.53	49.83
RANGER UTE		21MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		22MAR	1684	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	206.91	48.22	90.70	9.07	99.77
RANGER UTE		22MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		26MAR	1799	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		REGULAR ULP	201.92	25.01	45.91	4.59	50.50
RANGER UTE		26MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		26MAR	34588	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	206.91	41.95	78.91	7.89	86.80
RANGER UTE		26MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		29MAR	34699	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	207.89	57.00	107.73	10.77	118.50
RANGER UTE		29MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		30MAR	10337	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		REGULAR ULP	202.85	11.59	21.37	2.14	23.51
RANGER UTE		30MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		31MAR	34745	CALTEX JURIE BAY	31601005956	CALTEX	DNI10833		DIESEL	207.94	43.59	82.40	8.24	90.64
RANGER UTE		31MAR		WEX AUSTRALIA	68005970570		DNI10833		TRANSACTION FEE			0.75	0.08	0.83
RANGER UTE		01APR		WEX AUSTRALIA	68005970570		DNI10833		MANAGEMENT FEE			4.41	0.44	4.85
TOTAL CARD SPEND											478.16	\$910.95	\$91.16	\$1,002.11
COST CENTRE TOTAL PLANNING											478.16	\$910.95	\$91.16	\$1,002.11

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SHIRE OF DANDARAGAN DEVELOPMENT APPLICATION

**METEOROLOGICAL MAST
DANDARAGAN WIND FARM**

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Appendix A – Structural and Elevation Drawings

Appendix B – Certificate of Title

1. Introduction

1.1. Purpose of application

This Development Application Report (**Report**) provides information to support an application for Development Approval within the context of the Shire of Dandaragan Local Planning Scheme No. 7 (**LPS No. 7**). The application seeks approval for the installation of a meteorological mast (**met mast**) on Lot 3577 on Deposited Plan 206132 (**the Lot**), herein referred to as the 'Proposal'.

1.2. Outline of the Proposal

Development Approval is being sought from the Shire of Dandaragan for the Proposal. The proposed extent and indicative location are shown in **Figure 1**. The Proposal seeks to install a met mast in accordance with the following pre-construction and construction works:

- Geotechnical investigation to assess soil characteristics
- Setting up met mast foundation
- Excavation and concrete pouring processes
- Installation of met mast and commissioning.

1.3. Planning Assessment

This Report provides a review of the works to be completed for the Proposal and an assessment against the relevant requirements of the LPS No. 7.

The Lot is currently zoned as 'Rural' under the Shire of Dandaragan's LPS No. 7. The Proposal will not result in any changes to the existing land use and will continue to meet the *Rural Zone* objective in Part 3 of the LPS No. 7.

1.4. Pre-application process

In January and February 2024, Alinta Energy representative Lina Ramlee informed the Shire of Dandaragan's Principal Planning and Building Officer of Alinta Energy's intent to submit a development application for a met mast and confirmed the information required for the development application.

1.5. Report Structure and Information

This Report provides:

- Details of the site locality and site features – **Section 2**
- A description of the Proposal – **Section 3**
- An assessment of the planning policies and controls relevant to the Proposal – **Section 4**
- The potential impacts of the Proposal and associated mitigation measures – **Section 5**
- Copy of structural and elevation drawings – **Appendix A**
- A Certificate of Title of the subject site – **Appendix B**

1.6. Summary

The Proposal appropriately addresses all relevant requirements contained within the Shire of Dandaragan LPS No.7.

1.7. Contact Details

The key contact for all discussions in relation to this Application for Development Approval is:

Lina Ramlee

Planning and Environment Manager

Alinta Energy

Level 18 Raine Square, 300 Murray Street

Perth WA 6000

Direct: (08) 9486 3086 - Mob: 0448 358 615

Email: lina.pgramlee@alintaenergy.com.au

2. Physical Context

2.1. Subject Site

The site is located on Lot 3577 on Deposited Plan 206132 on the south side of Gillingarra Road, Regans Ford in the Mid-West region of Western Australia (**Figure 1**). The site is approximately 7.5 km east from Brand Highway and is approximately 30 km south of the Dandaragan town. The site sits within the Rural zone identified in the Shire of Dandaragan LPS No. 7. The land surrounding the site is comprised of farmland. Currently the site comprises of cleared farmland, patches of native vegetation and unoccupied buildings north of the Lot.

The location of the met mast in Figure 1 is indicative and the final location will be confirmed following completion of geotechnical investigations to determine appropriate conditions for construction. Construction of the met mast will avoid any clearing of native vegetation. Access to the met mast site will be via existing internal access tracks within the Lot. It is not expected that either access option will require any upgrades or additional works.

Table 1 Subject site details

Lot on Deposited Plan	Certificate of Title	Total Lot Area (ha)	Planning zone	Planning Scheme
Lot 3577 on Deposited Plan 206132	Volume 1446 Folio 945	1,260.45	Rural	Shire of Dandaragan Local Planning Scheme No. 7



Figure 1 - Subject site

3. Proposal Description

Alinta Energy proposes to install a met mast within the boundary of Lot 3577 DP206132. The met mast will conduct climatic monitoring with the purpose of determining the suitability of the area for siting of a future wind farm. The development of a future wind farm is dependent on pre-feasibility studies and approvals that are separate to this Development Application.

The major components being proposed under this Application for Development Approval include a 120m steel met mast, associated guy-fixing system and wind system consisting of six anemometers, two wind vanes and boom arms.

Appendix A shows the major proposed infrastructure which make part of this Application for Development Approval.

3.1. Development footprint

The Lot has a total land area of approximately 1,260.45 ha. The development footprint for the Proposal will be approximately 0.02 ha.

3.2. Development Schedule

The expected on-site construction time of the met mast is between six and nine days, with a construction team of four people.

4. Planning Considerations

The Proposal will be designed to satisfy applicable Western Australian legislative and policy requirements. The following section identifies the key strategic and statutory planning instruments applicable to the development and how the Proposal aligns with their purpose and objectives.

4.1. Key Legislation

The following sections highlight the key legislation that has been considered in developing this Proposal.

4.1.1. Planning and Development Act 2005

This Act is the primary piece of legislation governing development and subdivision in Western Australia, and its stated purposes are to provide for an efficient and effective land-use planning system and to promote the sustainable use and development of land. The key function that the *Planning and Development Act 2005* has in relation to this Proposal is giving power to local government to make local planning schemes and the establishment of Development Assessment Panels.

4.1.2. Planning and Development (Development Assessment Panels) Regulations 2011

Subsidiary to the *Planning and Development Act 2005* are the Planning and Development (Development Assessment Panels) Regulations 2011. Section 5 of the Regulations describe those cases in which an application for development must be delegated up to a Development Assessment Panel (**DAP**). The trigger for automatic delegation to a DAP for a development outside of the City of Perth is a development with an anticipated value of \$10 million or more. The value of the Proposal will be less than \$300,000 and therefore will only require assessment by the Shire of Dandaragan.

4.1.3. Environmental Protection Act (WA) 1986

The State government may apply environmental controls and conditions to a development under Part IV and/or Part V of the *Environmental Protection Act 1986 (EP Act)*. Proposals which have potential impacts that cannot be managed under Part V, and typically are of a much larger scale or in sensitive areas, are assessed by the Environmental Protection Authority (**EPA**) under Part IV.

Due to the nature of the Proposal, it is not considered to have any significant impacts to the Key Environmental Factors and will meet EPA's environmental objectives. Therefore, the Proposal is not required to be referred to the EPA.

4.1.4. Environmental Protection Regulations (WA) 1987

Schedule 1 of the *Environmental Protection Regulations 1987* identifies those activities which must be licenced under Part V of the EP Act. Wind monitoring equipment is not listed in Schedule 1, therefore the facility will not require assessment and licencing by DWER under the EP Regulations.

4.1.5. Environmental Protection (Native Vegetation Clearing) Regulations (WA) 2004

The EP Act contains a specific regulation to manage the impacts from clearing of native vegetation. The Proposal does not involve interacting with vegetation that is considered native under the regulations, the proposed met mast will be located within cleared farmland.

4.1.6. **Aboriginal Heritage Act 1972**

The *Aboriginal Heritage Act 1972 (AHA)* provides for the recognition, protection and preservation of Aboriginal sites in Western Australia. It is an offence under section 17 of the AHA to excavate, destroy, damage, conceal, or in any way alter an Aboriginal Site unless consent has been granted under section 18.

There are no records of Aboriginal Heritage sites and Heritage Places at the subject site.

4.2. **Strategic Planning**

The following sections provide an overview of the key strategic planning documents relevant to the Proposal.

4.2.1. **Shire of Dandaragan Local Planning Strategy**

The strategic directions for Rural zones within the Shire of Dandaragan identified in the Local Planning Strategy are:

- Retain rural land for agricultural production and the protection of biodiversity.
- Support subdivision only where it provides for improved agricultural outcomes and land management, such as boundary realignments, homestead lots, environmental and landscape enhancement.
- Facilitate more intensive and diverse use of rural land for higher value agricultural products which are compatible with land capability attributes and surrounding farming practices, subject to availability of adequate water supply.
- Support non-rural uses that are compatible with, and complement, the primary use of the land.
- Commercial and manufacturing activities will not be supported on Rural zoned land unless specifically permitted in the Scheme.
- The existence of more than one dwelling on a rural property cannot be used as justification for subdivision.

The Proposal aligns with the strategic directions and would not have an adverse impact on the rural land uses of the site and surrounding lands.

4.3. **Statutory Planning**

The following sections outline the key statutory planning documents applicable to the Proposal.

4.3.1. State Planning Policy 3.7 - Planning in Bushfire Prone Areas

The *State Planning Policy 3.7 – Planning for Bushfire Prone Areas (SPP 3.7)* provides the foundation for land use planning to address bushfire risk management in Western Australia. The intent of this policy is to implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure.

The location of the Proposal is not located within an area that has been designated as a ‘bushfire prone area’ by the Fire and Emergency Services Commissioner.

4.3.2. Shire of Dandaragan Local Planning Scheme No. 7

The Shire of Dandaragan LPS No. 7 is the local planning legislation that applies to the proposed development.

The land associated with the Proposal is zoned Rural. As per Part 3 of LPS No.7, the objective of Rural Zone is *to provide for a range of rural activities such as broadacre and diversified farming so as to retain the rural character and amenity of the locality, in such a way to prevent land degradation and further loss of biodiversity.* A decision on approval of Alinta Energy’s proposal will rest with the Shire of Dandaragan.

5. Assessment of planning considerations

5.1. Relevant planning aspects

Planning aspects to consider for the development of the Proposal include:

- Aviation and air safety
- Aboriginal heritage
- Bushfire
- Flora and fauna
- Visual amenity
- Traffic and transport
- Safety and security

5.1.1. Aviation and air safety

The proposed met mast has a height of 120m, therefore the Civil Aviation and Safety Authority (CASA) will be notified of the proposed construction as required under Part 139 of the Civil Aviation and Safety Regulations (1998).

Alinta Energy will consider the following measures to address air safety of the met mast:

- The top 1/3 of met mast to be painted in alternating contrasting bands of colour
- Marker balls or high visibility flags or sleeves placed on the outside guy wires
- Ensuring the guy wire ground attachment points have contrasting colours to the surrounding ground.

5.1.2. Aboriginal heritage

The nearest Aboriginal heritage site is the Gingin Brook Waggyt site (ACH ID 00020008) located approximately 4.5 km south of the Proposal. No Aboriginal Heritage Sites and Heritage Places are recorded within the Lot.

The Traditional Owner group of the land encompassing the site is Yued. Yued is a Native Title group and a sub-set of the broader Southwest Native Title Settlement.

Broader site heritage survey and consultation with Traditional Owners will be undertaken as part of the proposed Dandaragan Wind Farm.

5.1.3. Bushfire

Native vegetation within the Lot have been designated as Bushfire Prone Areas (DFES, 2021). The location of the proposed met mast within the Lot will not intersect with these Bushfire Prone Areas and will have adequate setbacks from native vegetation.

5.1.4. Flora and fauna

The development footprint is located within a cleared area of farmland and will not require the clearing of any native vegetation. The construction and operation of the proposed met mast will not impact ecological communities.

5.1.5. **Traffic and Transport**

There will be a minimal increase in traffic during the construction and operations of the Project.

The met mast is anticipated to be constructed in between six to nine days, including the installation and testing of all sensors and equipment. The mast will not be manned during operations, minimal access will be required to conduct routine maintenance during this time.

5.1.6. **Visual amenity**

There is expected to be a low level of visibility and resulting visual impact due to slim-line, lightweight and semi-transparent lattice design of the met mast.

6. **Conclusion**

Based on the provisions of the relevant planning strategies, frameworks and schemes, including the Shire of Dandaragan LPS No.7, the subject site is an appropriate location for the Proposal. The existing zoning and use at the subject site are compatible with the Proposal.

The Proposal results in no adverse outcomes in terms of environmental, community or socio-economic impact during construction or operation. The predominant use of the land will remain as rural throughout the life of the project. Following completion of meteorological monitoring, the met mast may be decommissioned and removed from the subject site, allowing for an alternative land use if the area is not deemed suitable for generating wind power.

APPENDIX A – STRUCTURAL AND ELEVATION DRAWINGS

GENERAL NOTES

- ALL MAST STEELWORK COMPONENTS, ASSEMBLIES AND PARTS CALLED OUT ON DETAILS, SECTIONS AND BILL OF MATERIALS ARE THE PROPRIETARY PRODUCTS OF ART GROUP UNLESS NOTED OTHERWISE (U.N.O). COMPLETE DETAILS AND INFORMATION OF ART GROUP PRODUCTS SHOWN ON PRODUCTION SHOP DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED ON-SITE PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ON SHOWN ARE IN MILLIMETERS U.N.O.
- DO NOT GET DIMENSIONS BY SCALING DRAWINGS.
- ALL WORKMANSHIP PREFORMED AND MATERIALS USED SHALL BE AS PER THE CURRENT AUSTRALIAN STANDARDS, THE BY-LAWS, AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- ALL BOLTS ARE GRADE 8.8 STRUCTURAL ASSEMBLIES SUPPLIED WITH NUT AND WASHER U.N.O.
- ALL BOLTS TO BE SNUG TIGHTENED U.N.O.
- MAINTAIN STABLE CONDITIONS OF STRUCTURE DURING CONSTRUCTION AND DO NOT OVER STRESS ANY PART DURING CONSTRUCTION.
- PROVIDE "HELICOIL GRIP": OR "FAN WRAP" AT TERMINATION OF ALL GUY WIRES.

LOCATION

- THE MAST LOCATION AND PROXIMITY TO PUBLIC ROADS, BUILDINGS AND OTHER INFRASTRUCTURE IS THE RESPONSIBILITY OF THE CLIENT AND RELEVANT LOCAL COUNCIL, STATE AND FEDERAL AUTHORITIES. UNLESS OTHERWISE STATED, ART IS NOT RESPONSIBLE FOR THE FINAL LOCATION IN REGARD TO COMPLIANCE WITH RELEVANT LOCAL COUNCIL, STATE AND FEDERAL AUTHORITIES.

STEEL ERECTION

- MAST INSTALLATION DESIGNED FOR DERRICK-POLE OR CRANE ERECTION.
- FOR CRANE LIFTS ASSEMBLED SECTIONS MUST NOT EXCEED 40m IN A SINGLE LIFT UNLESS TWO CRANES ARE USED IN A DUAL LIFT CONFIGURATION.
- FOR DERRICK-POLE LIFTS ONLY ONE SECTION AT A TIME TO BE RAISED WITH DERRICK-POLE.

FOOTINGS & FOUNDATIONS

- REMOVE ALL TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER FOR ALL FOOTINGS.
- IF MATERIAL ON-SITE IS NOT SUITABLE FOR STANDARD COMPACTION SPECIFICATION, THEN IMPORTED FILL OR BACKFILL SHALL CONSIST OF APPROVED MATERIAL INSTALLED AS PER COMPACTION SPECIFICATIONS.
- GROUND COLLAPSE CONTROL MEASURES SHALL BE USED WHERE GROUND COLLAPSE MAY OCCUR BY APPLYING EITHER SHORING, BENCHING AND OR BATTERING. LOCAL WHS CODE OF PRACTICE SHALL BE ADHERED TO.

GUY ANCHOR COMPACTION SPECIFICATIONS

- THE LEVEL OF TOLERANCE OF GUY ANCHOR FOOTINGS MAY VARY (HIGHER/LOWER) WITHOUT ENGINEERING REVIEW MAINTAINING NOMINATED GUY ANCHOR ANGLES AS SPECIFIED BY THE STRUCTURAL ENGINEER.
 - INNER FOOTING: 3.0m
 - INTERMEDIATE FOOTING: 6.0m
 - OUTER FOOTING: 6.0m
- EXCAVATE ANCHOR PIT AND INSTALL STEEL ANCHOR BEAM, ANCHOR ROD AND ATTACHMENTS AS SPECIFIED IN DETAILS AND INFORMATION PROVIDED ON STRUCTURAL DRAWINGS.
- CLAYS OR SILTS (BASED ON $\phi=20^\circ$ AND $C_u=20kPa$) OR COMPACTABLE SANDS (BASED ON $\phi=32^\circ$ MIN.) CAN BE USED AS FILL MATERIAL. MINIMUM SOIL PROPERTIES ARE AS STATED ABOVE UNLESS A GEOTECHNICAL REPORT IS PROVIDED.
- MINIMUM DENSITY OF COMPACTED BACKFILL SOIL TO BE $17kN/m^3$ BY APPLYING AS2870 RECOMMENDATIONS. PLACE FILL IN LAYERS NO GREATER THAN 150mm WHEN COMPACTED. ACHIEVE REQUIRED COMPACTION BY MECHANICAL TAMPING SUCH AS COMPACTION BY RODDING, VIBRATING PLATE, SMOOTH DRUM ROLLER ATTACHED TO A BACKHOE/EXCAVATOR, OR WALK BEHIND WHACKER PACKER.
- ANGLE OF ANCHOR ROD SHOWN ON GUY ANCHOR FOOTING SCHEDULE REFERS TO PRETENSION FORCE BEING APPLIED TO GUY-WIRES AND RE-COMPACTION OF LOOSE SOIL FOLLOWING PRETENSION.
- REQUIRED MINIMUM SAFE BEARING CAPACITY OF FOUNDATION MATERIAL SHALL BE 100 kPa.

CONCRETE

- ALL WORKMANSHIP PREFORMED AND MATERIALS USED ARE AS PER AS3600.
- PLACE CONCRETE WITH COMPRESSIVE STRENGTH F'C 32MPa AS DEFINED IN AS1379.
- MAST BASE FOUNDATION: CONCRETE COVER OF 75mm MIN. TOP, BOTTOM AND SIDES.
- GUY ANCHOR FOUNDATION: MIN. 50mm CONCRETE COVER AROUND THE STEEL ANCHOR BEAM; FOR TOTAL CONCRETE DEPTH REFER TO GUY ANCHOR FOOTING SCHEDULE.
- NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS MADE IN CONCRETE MEMBERS WITHOUT THE WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- REINFORCEMENT SYMBOLS:
 - N - GRADE 500 NORMAL DUCTILITY DEFORMED BAR. THE NUMBER FOLLOWING THESE SYMBOLS INDICATES BAR DIAMETER IN MILLIMETRES U.N.O. REINFORCEMENT TO COMPLY WITH AS4671.

STEEL WORK

- ALL WORKMANSHIP PREFORMED AND MATERIALS USED ARE AS PER AS4100 AND AS1554. EXCEPTION MAY BE PERMITTED ONLY WDIM HERE AS VARIED BY APPROVED CONTRACT DOCUMENTS.
- UNLESS NOTED OTHERWISE, THE FOLLOWING STEEL GRADES YIELD STRENGTH APPLY TO MAST SECTIONS:
 - MAST CORD (LEGS) 500 MPa
 - MAST WEBBING 300 MPa
 - PLATES 250 MPa
- WELDED CONNECTIONS BETWEEN STRUCTURAL MEMBERS ARE 6mm CONTINUOUS FILLET WELD (OR SIZE EQUIVALENT TO THE MINIMUM THICKNESS OF CONNECTION MEMBERS IF LESS THAN 6mm) U.N.O. WELDED CONNECTIONS BETWEEN LATTICE & CHORDS ARE 6mm MIN. COMPLETE M AND INCOMPLETE PENETRATION BUTT WELDS CLASS SP U.N.O.
- BOLT TYPES AND DESIGNATIONS WHERE USED ARE AS FOLLOWS:
 - 4.6/S COMMERCIAL BOLTS TO AS1111 SNUG TIGHTENED 8.8/S HIGH STRENGTH STRUCTURAL ASSEMBLY (BOLTS, NUTS AND HARDENED WASHERS) TO AS1252 SNUG TIGHTENED ONLY FOR ALL MAST SECTIONS U.N.O.
- M16 HIGH STRENGTH (8.8/S) BOLTS USED TYPICALLY IN ALL CONNECTIONS U.N.O. NOTWITHSTANDING THIS, NO STEEL-TO-STEEL CONNECTIONS ASSEMBLED WITH LESS THAN 2/ M16 (8.8/S) BOLTS U.N.O. U-BOLTS (4.6/S) USED FOR ANCILLARIES INSTALLATION U.N.O.
- BOLT HOLES IN STEEL-TO-STEEL AND STEEL-TO-CONCRETE CONNECTIONS WITH BOLT DIAMETER +2mm AND +3mm RESPECTIVELY. BASE PLATES MUST HAVE A BOLT DIAMETER +6mm U.N.O.
- ALL NUTS, BOLTS AND WASHERS ARE GALVANIZED U.N.O.
- WELD MATERIAL REQUIRES A NOMINAL TENSILE STRENGTH OF 490MPa AS PER AS4100 AMENDMENT 1, 2012, TABLE 9.7.3.10(1).
- ALL WELDS REQUIRE CATEGORY SP AS PER AS1554 PART 1 U.N.O. PART 3 U.N.O.
- PROTECTIVE SURFACE TREATMENT APPLIED TO STRUCTURAL STEELWORK AS FOLLOWS:
 - GENERAL MAST FINISH: HOT-DIP GALVANIZE "HDG600" (AS2312) (AVERAGE 90 MICRON).
 - GUY ANCHOR BEAMS & ANCHOR RODS FINISH: HOT-DIP GALVANIZE "HDG600" (AS2312) (AVERAGE 90 MICRON).
 - BLACK STEEL MAY BE USED WHERE ANCHOR BEAM IS ENCASED IN CONCRETE.

NOTES:

01	UPDATED SHEET 4	30 NOV. 2023
00	ISSUED FOR CONSTRUCTION	27 OCT. 2023
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CONSULTING ENGINEERS

GEOTECHNICAL ENGINEERS



119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@artowers.com.au
australianradiotowers.com.au

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PROJ. | PROD.
GL - GUYED LATTICE

SITE NAME

DRAWING TITLE
G.A. GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 001

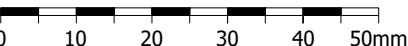
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ISSUED FOR CONSTRUCTION

SCALE: (PLOTTED AT A3)
AS SHOWN @ A3

THIRD ANGLE PROJECTION 

DRAWN	CHECKED	APPROVED	CO-ORDINATED
DM	HY	HY	PG

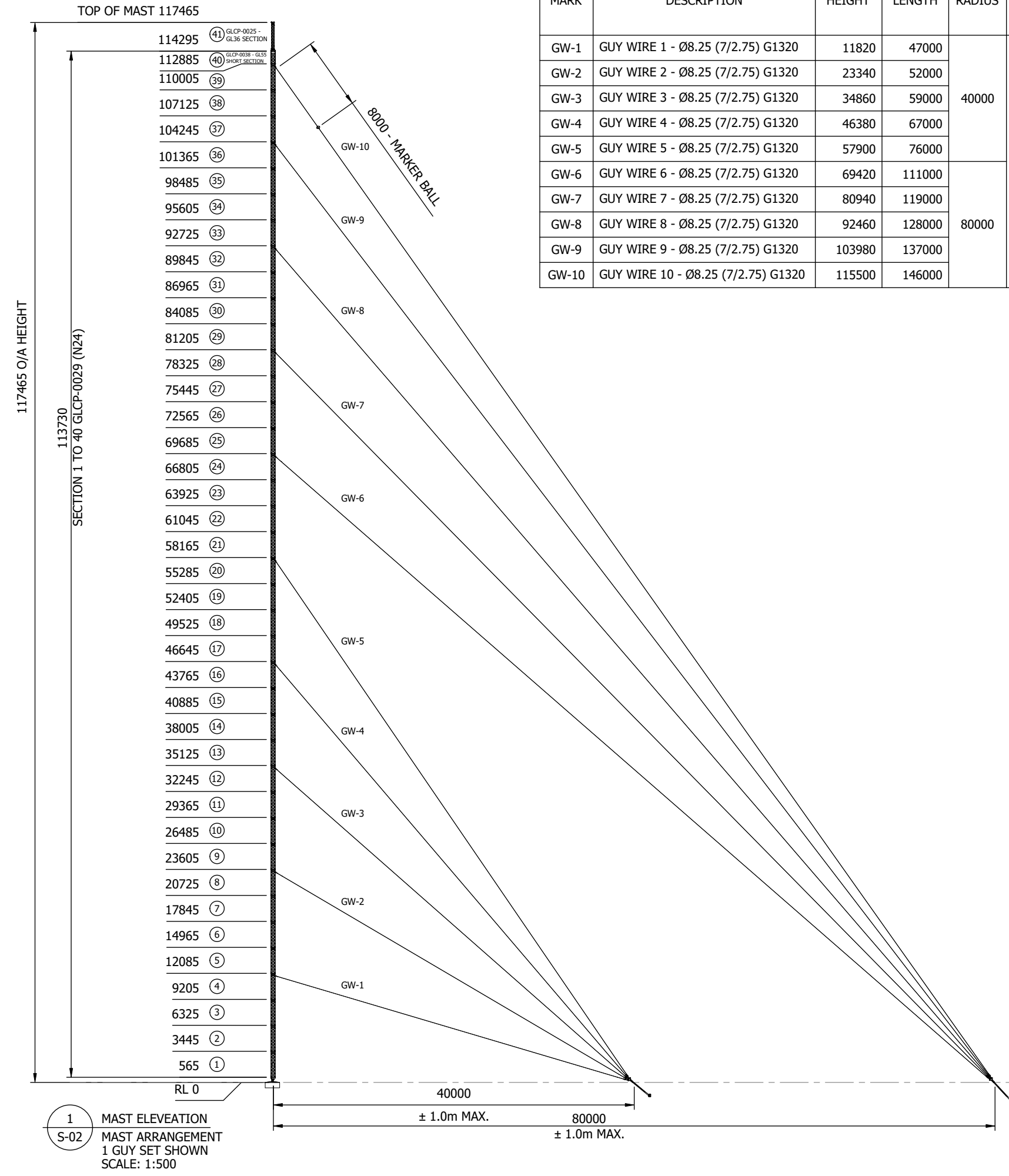
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AEDGA-GLA53-0120-001	01	1/4



GUY WIRE SCHEDULE (RIGGING EQUIPMENT TO AS 1138. AS 2319. AS 2714. AS 2759. AS 4991.)

MARK	DESCRIPTION	HEIGHT	LENGTH	RADIUS	SIZE	PRE-TENSION	BOW & 'D' SHACKLE GALV. (GRADE S)	TURNBUCKLE GALV. (GRADE P)	FAN-WRAP GALV. (GRADE GFG 083)	THIMBLE GALV. (GRADE 3025)
GW-1	GUY WIRE 1 - Ø8.25 (7/2.75) G1320	11820	47000	40000	Ø8.25	3.5kN	16mm	5/8"	8.25mm	11mm
GW-2	GUY WIRE 2 - Ø8.25 (7/2.75) G1320	23340	52000							
GW-3	GUY WIRE 3 - Ø8.25 (7/2.75) G1320	34860	59000							
GW-4	GUY WIRE 4 - Ø8.25 (7/2.75) G1320	46380	67000							
GW-5	GUY WIRE 5 - Ø8.25 (7/2.75) G1320	57900	76000	80000						
GW-6	GUY WIRE 6 - Ø8.25 (7/2.75) G1320	69420	111000							
GW-7	GUY WIRE 7 - Ø8.25 (7/2.75) G1320	80940	119000							
GW-8	GUY WIRE 8 - Ø8.25 (7/2.75) G1320	92460	128000							
GW-9	GUY WIRE 9 - Ø8.25 (7/2.75) G1320	103980	137000							
GW-10	GUY WIRE 10 - Ø8.25 (7/2.75) G1320	115500	146000							

NOTES:



1 MAST ELEVATION
S-02 MAST ARRANGEMENT
1 GUY SET SHOWN
SCALE: 1:500

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CONSULTING ENGINEERS

GEOTECHNICAL ENGINEERS



119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@artowers.com.au
australianradiotowers.com.au

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GL - GUYED LATTICE

SITE NAME

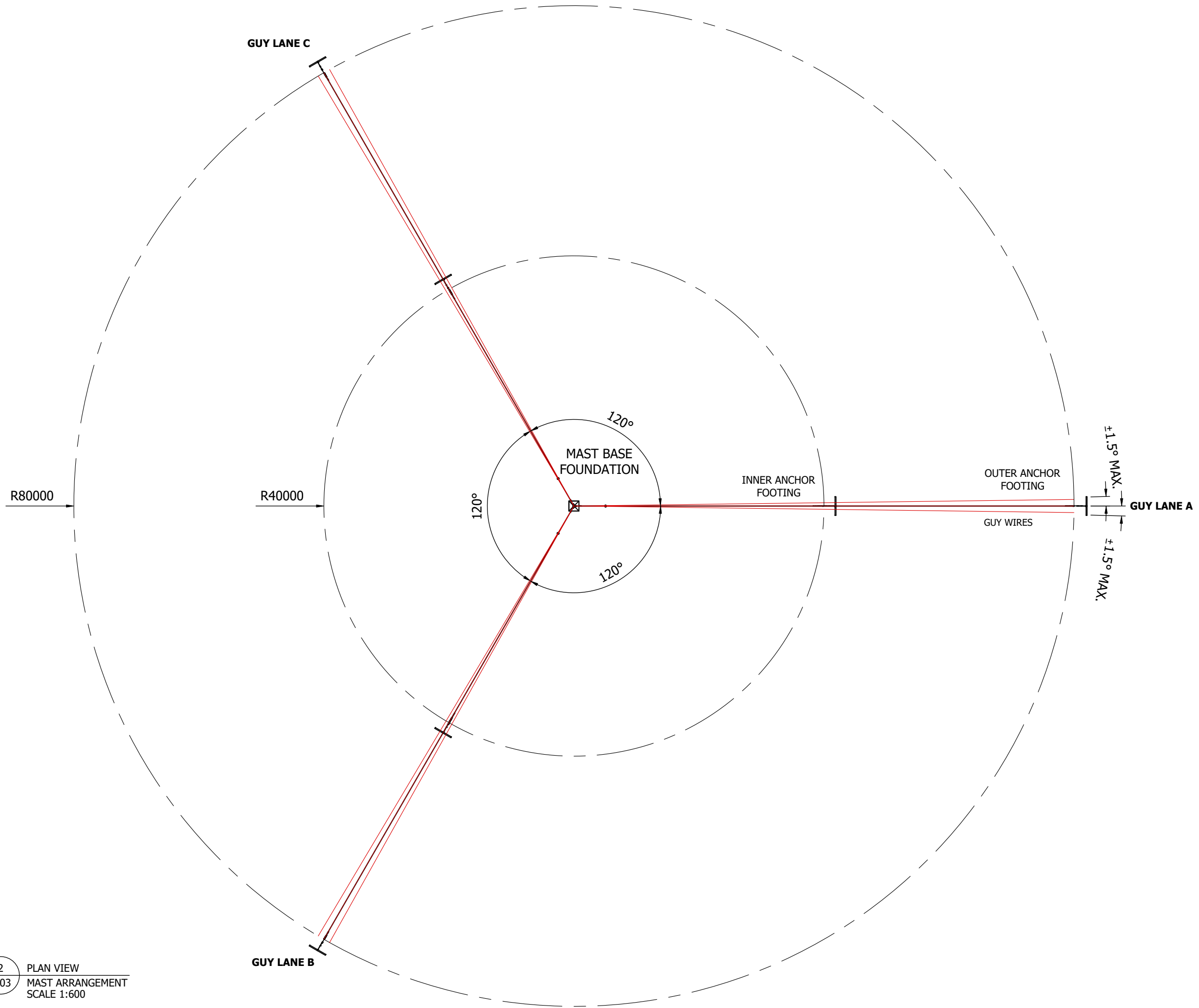
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G.A. GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 001

STATUS
ISSUED FOR CONSTRUCTION

SCALE: (PLOTTED AT A3)
AS SHOWN @ A3

DRAWN	CHECKED	APPROVED	CO-ORDINATED
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DRAWING NUMBER: AEDGA-GLA53-0120-001
ISSUE: 01
SHT./SHTS: 2/4



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GEOTECHNICAL ENGINEERS



119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@artowers.com.au
australianradiotowers.com.au

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GL - GUYED LATTICE

SITE NAME

DRAWING TITLE
G.A. GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 001

STATUS
ISSUED FOR CONSTRUCTION

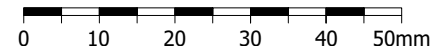
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AS SHOWN @ A3



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DM	HY	HY	PG

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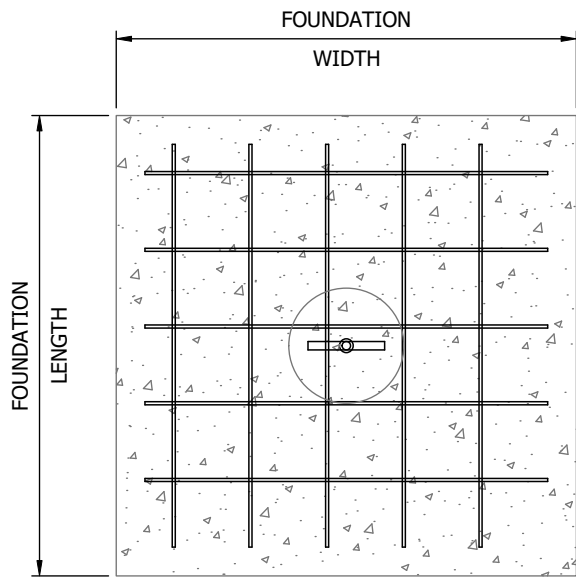
2 PLAN VIEW
S-03 MAST ARRANGEMENT
SCALE 1:600



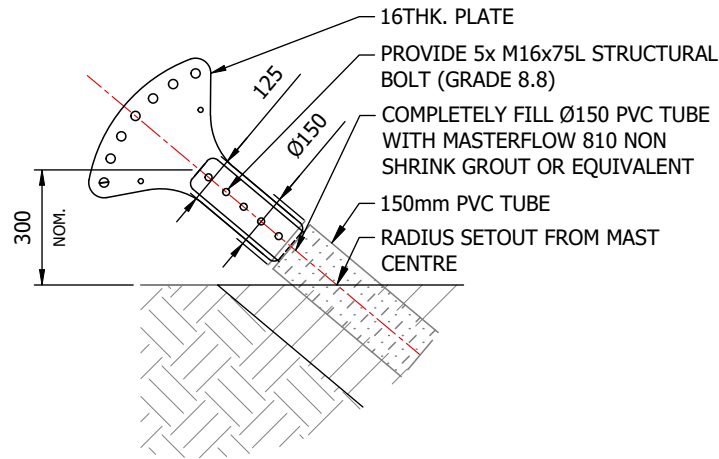
MAST BASE FOUNDATION			
WIDTH	LENGTH	DEPTH	VOL. OF CONCRETE (m³)
1600	1600	700	1.792

GUY ANCHOR FOOTING SCHEDULE															
FOOTING	RADIUS	No. GUYS	EXCAV. WIDTH	EXCAV. LENGTH	EXCAV. DEPTH	ANCHOR BEAM	CONC. DEPTH	CONC. VOL. PER ANCHOR (m³)	ANGLE	DIM A	DIM B	DIM C	GROUT WEIGHT (kg)	PIPE LENGTH	ANCHOR HEAD
INNER	40000	5	800	3400	1600	3000	400	1.088	40°	1847	400	2777	68	2400	7 HOLE
OUTER	80000	5	800	3400	2200	3000	400	1.088	47°	2014	400	3251	82	2900	7 HOLE

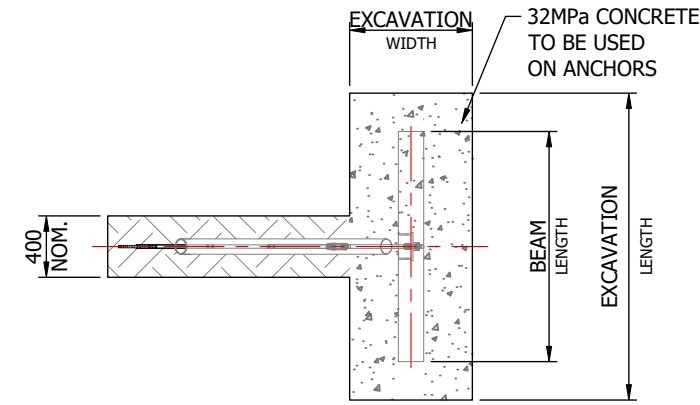
- NOTES:
- REFER TO GENERAL NOTES (SHEET 2) GUY ANCHOR CONCRETE & COMPACTION SPECIFICATIONS.
 - IN ORDER TO MEET REQUIRED DEPTH, INNER ANCHORS NEED CUSTOM ADJUSTABLE ANCHOR ARMS (SEE ANCHOR PLATE SCHEDULE TABLE)
 - DO NOT USE MORE THAN TWO ANCHOR PLATES PER ANCHOR. IF IN DOUBT CONSULT WITH ART ENGINEERING.



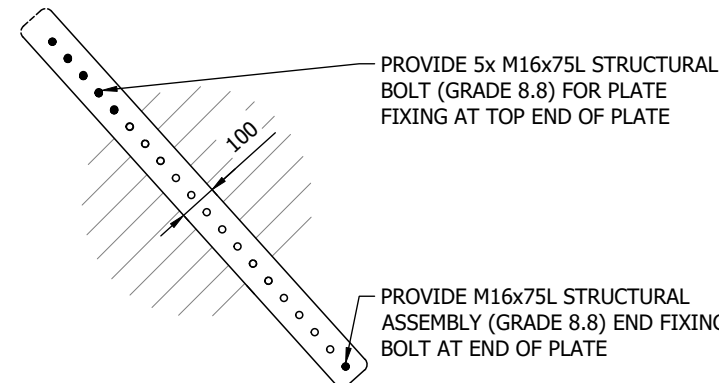
1 PLAN VIEW
S-04 CONCRETE IN-SITU MAST BASE STEEL IS SHOWN FOR CLARITY TYPICAL DETAIL



A DETAIL VIEW
S-04 ANCHOR HEAD ASSEMBLY TYPICAL DETAIL

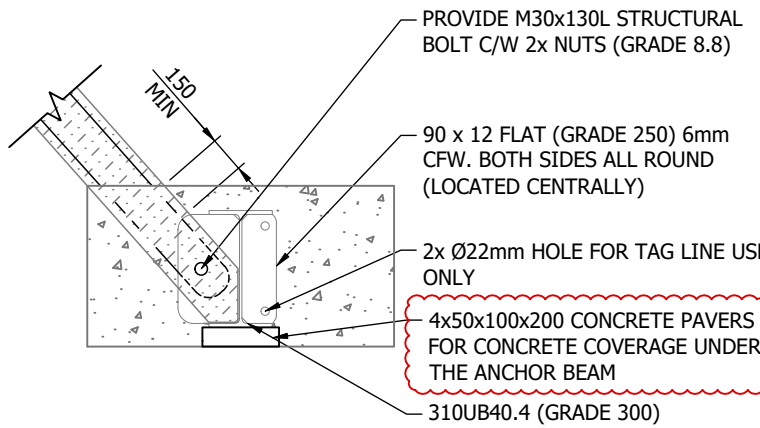


3 PLAN VIEW
S-04 GUY ANCHOR FOOTING TYPICAL DETAIL

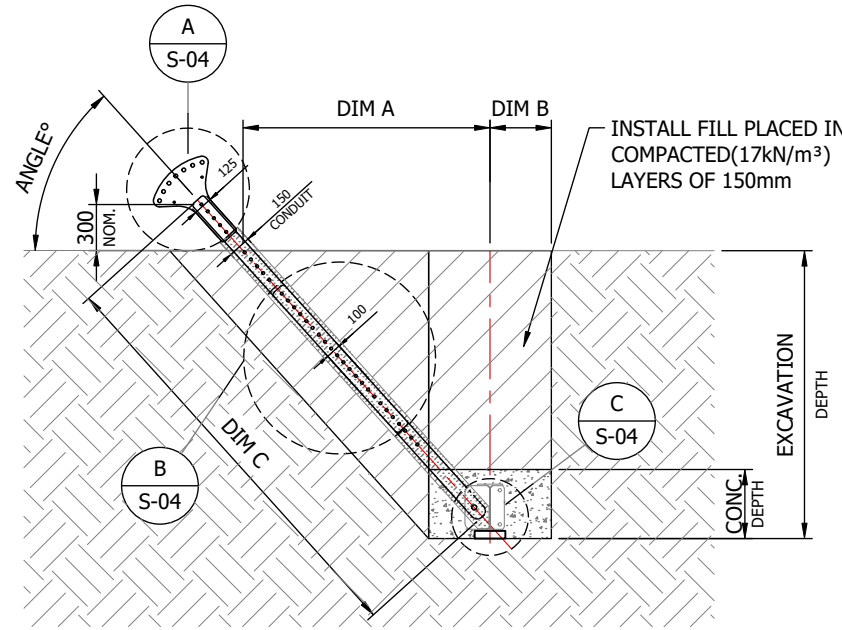


B DETAIL VIEW
S-04 ANCHOR ROD CONNECTION PVC TUBE & EARTH NOT SHOWN FOR CLARITY TYPICAL DETAIL

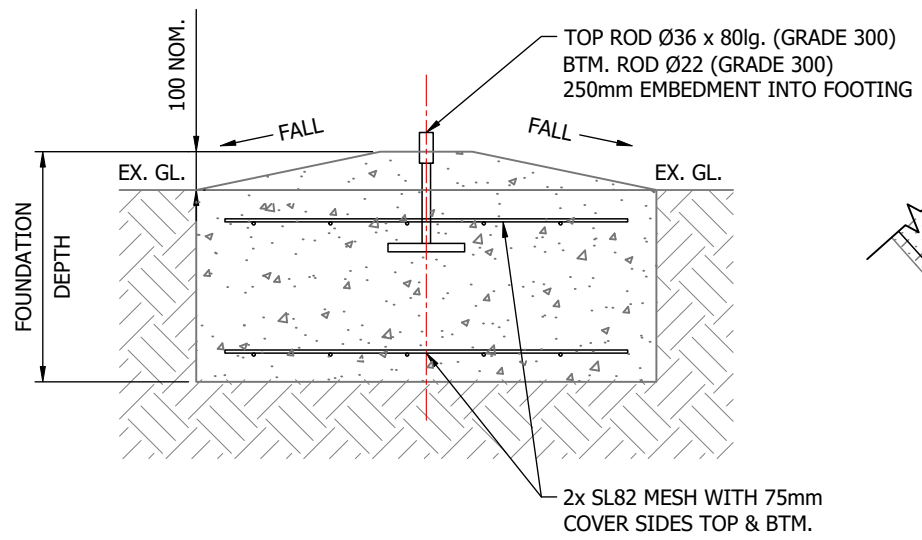
ANCHOR PLATE SCHEDULE (SEE NOTE 3)		
FOOTING	ANCHOR ARM BASE	ANCHOR BOLTED ARM CENTER
INNER	ANPA-0045_01	ANPA-0060_00



C DETAIL VIEW
S-04 ANCHOR BEAM ASSEMBLY TYPICAL DETAIL



4 ELEVATION VIEW
S-04 GUY ANCHOR FOOTING ANCHOR ASSEMBLY SHOWN FOR CLARITY TYPICAL DETAIL



2 ELEVATION VIEW
S-04 CONCRETE IN-SITU MAST BASE STEEL IS SHOWN FOR CLARITY TYPICAL DETAIL

REV	DESCRIPTION	DATE
01	UPDATED SHEET 4	30 NOV. 2023
00	ISSUED FOR CONSTRUCTION	27 OCT. 2023

CONSULTING ENGINEERS
GEOTECHNICAL ENGINEERS

119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@artowers.com.au
australianradiotowers.com.au

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CLIENT
CLIENT DOC. REF.

PROJ. | PROD.
GL - GUYED LATTICE
SITE NAME

DRAWING TITLE
G.A. GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 001

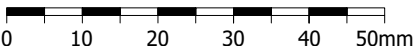
STATUS
ISSUED FOR CONSTRUCTION

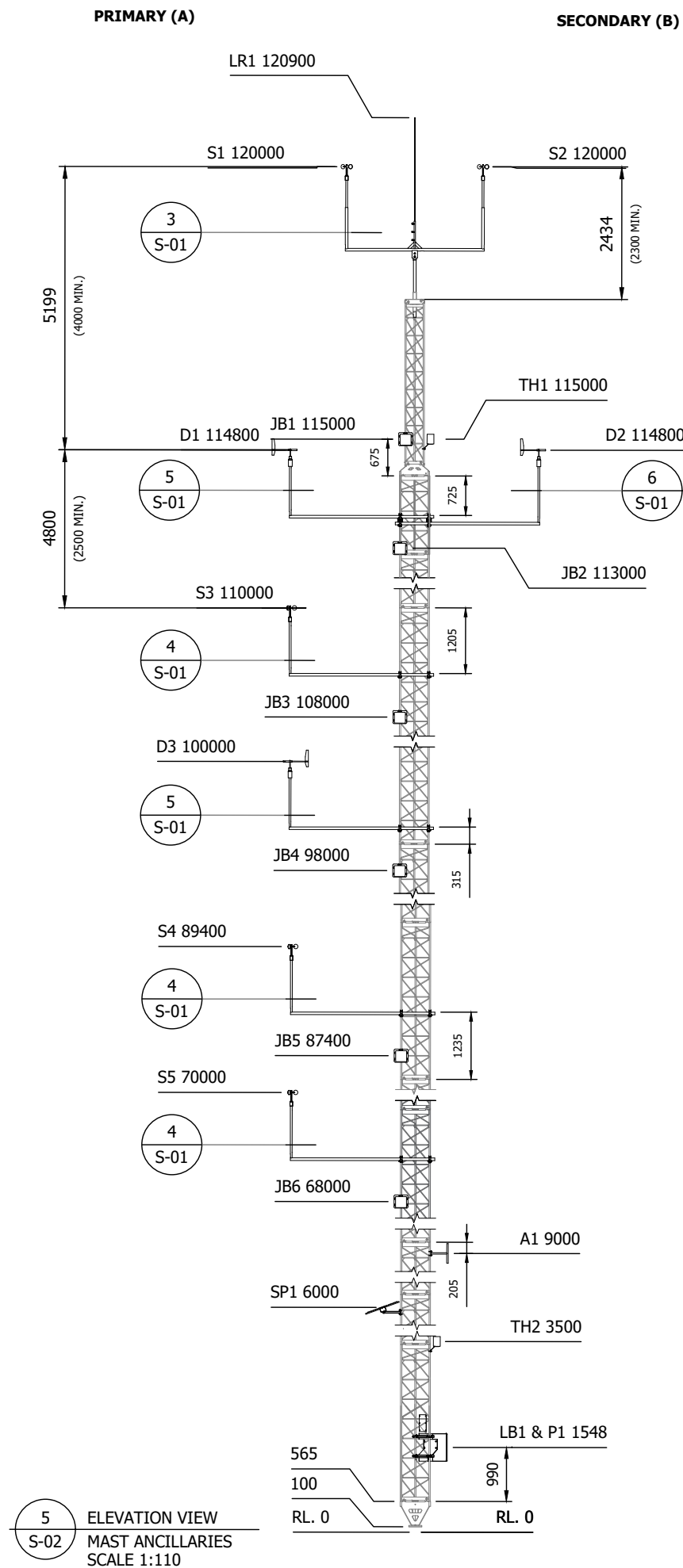
SCALE: (PLOTTED AT A3)
AS SHOWN @ A3

THIRD ANGLE PROJECTION

DRAWN DM	CHECKED HY	APPROVED HY	CO-ORDINATED PG
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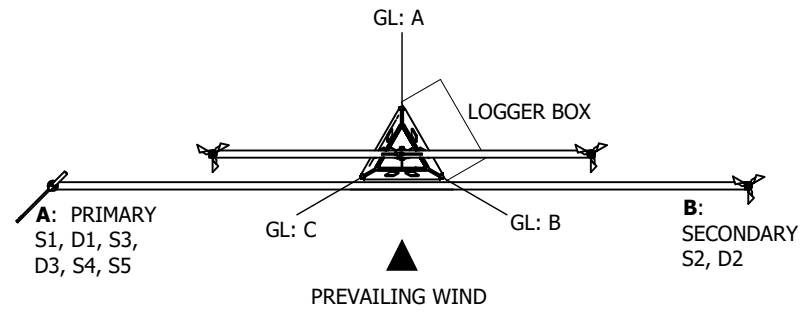
DRAWING NUMBER: AEDGA-GLA53-0120-001
ISSUE: SHT./SHTS
01 / 4/4





MAST ANCILLARY LOADING					
MARK	DESCRIPTION	CALIBRATION (YES/NO)	HEIGHT	SECTION	ESA m ²
LR1	LIGHTNING FINIAL	N/A	120900	TOP	0.56
S1	ANEMOMETER THIES FCA2	YES	120000		
S2	ANEMOMETER THIES FCA2				
JB1	JUNCTION BOX	N/A	115000	41	0.06
TH1	TEMP. & HUMIDITY GALTEC MELA KPC	NO			0.02
D1	WIND VANE THIES COMPACT	YES	114800	40	0.22
D2	WIND VANE THIES COMPACT				0.22
JB2	JUNCTION BOX	N/A	113000	38	0.06
S3	ANEMOMETER THIES FCA2	YES	110000		0.22
JB3	JUNCTION BOX	N/A	108000	35	0.06
D3	WIND VANE THIES COMPACT	YES	100000		0.22
JB4	JUNCTION BOX	N/A	98000	31	0.06
S4	ANEMOMETER THIES FCA2	YES	89400		0.22
JB5	JUNCTION BOX	N/A	87400	24	0.06
S5	ANEMOMETER THIES FCA2	YES	70000		0.22
JB6	JUNCTION BOX	N/A	68000	1	0.06
A1	ANTENNA OMNI COL8195	NO	9000		0.02
SP1	SOLAR PANEL SOLARWAT 50w	NO	6000	2	0.33
TH2	TEMP. & HUMIDITY GALTEC MELA KPC	NO	3500	1	0.02
LB1	CAMPBELL SCIENTIFIC DATA LOGGER CR1000X	YES	1548		0.27
P1	PRESSURE SENSOR VAISALA PTB110 (INSIDE LB1)	NO			
TOTAL ESA m ²					2.90

- NOTES:
- STRUCTURAL ALLOWANCE FOR BUNDLED CABLES DOWN MAST LEG(S).
 - ESA VALUES INCLUDE BOOM ARMS, BRACKETS AND INSTRUMENTS.
 - SIDE MOUNTED INSTRUMENT SEPARATION >20x BOOM DIAMETER.
 - INTERFERENCE CLEARANCE >30x GUY WIRE Ø.



2 PLAN VIEW - BOOM ARM ORIENTATION
Scale: 1:50

- NOTES:
- ALL ANEMOMETERS SHALL BE CALIBRATED TO MEASNET.
 - MET MAST LAYOUT COMPLIES WITH IEC 61400-12-1 ED1 AND ED2.
 - SOLAR PANEL ANGLE SHALL BE SET FOR BEST AVERAGE PERFORMANCE THROUGHOUT THE YEAR. RECOMMENDED ANGLES SHOULD BE BASED ON LATITUDE + 5°. TYPICAL PANEL ANGLES SHOWN BELOW:
* TASMANIA: 40°
* NEWCASTLE NSW TO MELBOURNE VIC: 35°
* ROCKHAMPTON QLD TO BRISBANE QLD: 30°
* NORTH OF ROCKHAMPTON QLD AND SOUTH OF MACKAY QLD: 25°
* NORTH OF MACKAY: 20°

00	ISSUED FOR CONSTRUCTION	15 JAN. 2024
REV	DESCRIPTION	DATE

CONSULTING ENGINEERS

GEOTECHNICAL ENGINEERS

119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@arttowers.com.au
australianradiotowers.com.au

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CLIENT

CLIENT DOC. REF.

PROJ. | PROD.
WS - WIND SYSTEM

SITE NAME

DRAWING TITLE
G.A. WIND SYSTEM
GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 006

STATUS
ISSUED FOR CONSTRUCTION

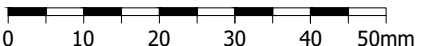
SCALE: (PLOTTED AT A3)
AS SHOWN @ A3

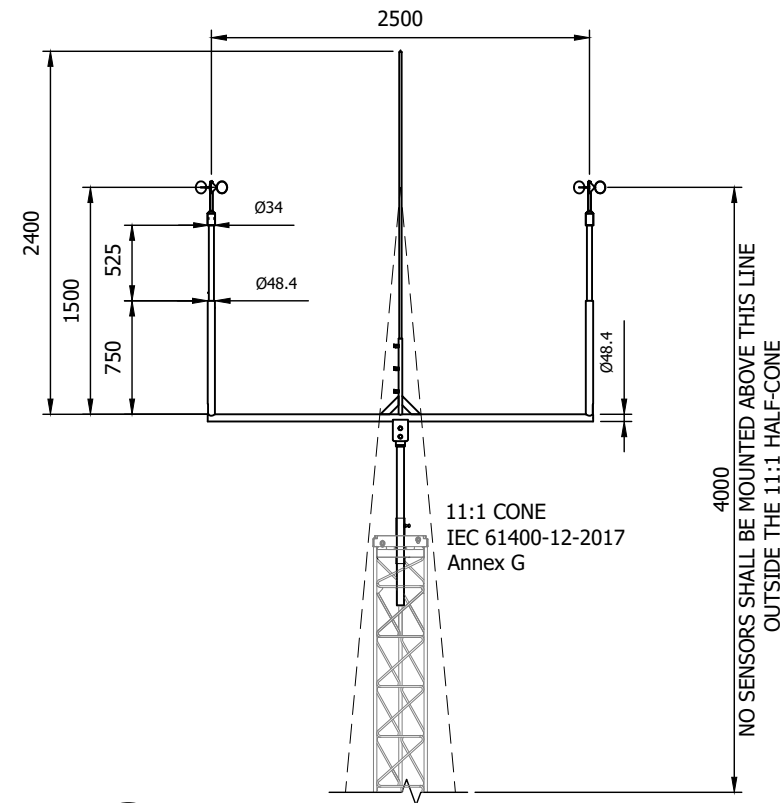
THIRD ANGLE PROJECTION

DRAWN	CHECKED	APPROVED	CO-ORDINATED
VG	PB	PG	PG

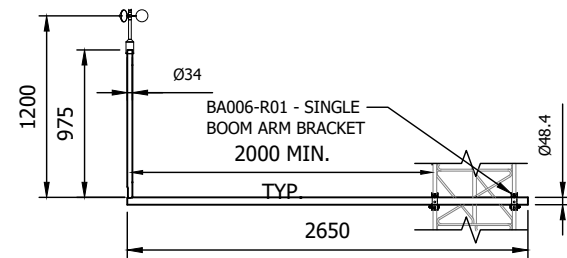
DRAWING NUMBER: AEDGA-WSA53-0120-006

ISSUE: SHT./SHTS
A 1/2



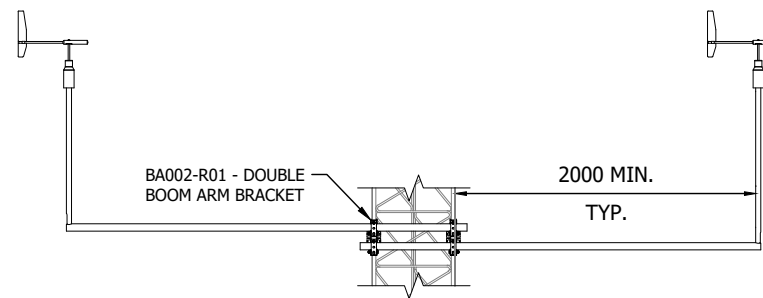


3 BAAS-0002
S-02 TOP GOAL-POST
2x THIES FCA2/X
SCALE 1:50



4 BA-040
S-02 BOOM ARM
ANEMOMETER
THIES FCA2/X
SCALE 1:50

5 BA-069
S-02 WIND VANE
THIES FIRST CLASS
SCALE 1:50



7 DOUBLE BOOM ARM
S-02 BRACKET ARRANGEMENT
SCALE 1:50

6 BA-072
S-05 WIND VANE
THIES FIRST CLASS

NOTES:

00 ISSUED FOR CONSTRUCTION 15 JAN. 2024

REV DESCRIPTION DATE

CONSULTING ENGINEERS

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119-125 QUARRY ROAD
MURWILLUMBAH NSW 2484
(02) 6672 6200
admin@artowers.com.au
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CLIENT

CLIENT DOC. REF.

PROJ. | PROD.
WS - WIND SYSTEM

SITE NAME

DRAWING TITLE
G.A. WIND SYSTEM
GUYED LATTICE MAST TYPE 55-36
HEIGHT 120m
LAYOUT 006

STATUS

ISSUED FOR CONSTRUCTION

SCALE: (PLOTTED AT A3)

AS SHOWN @ A3

THIRD ANGLE
PROJECTION

DRAWN	CHECKED	APPROVED	CO-ORDINATED
VG	PB	PG	PG

DRAWING NUMBER:	ISSUE: SHT./SHTS
AEDGA-WSA53-0120-006	A 2/2

APPENDIX B – CERTIFICATE OF TITLE

WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

1446 945

RECORD OF CERTIFICATE OF TITLE
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 3577 ON DEPOSITED PLAN 206132

REGISTERED PROPRIETOR:
(FIRST SCHEDULE)

BRIAN ANDREW HENNING OF POST OFFICE BOX 18, DANDARAGAN

(T J177506) REGISTERED 9/2/2005

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1446-945 (3577/DP206132)
PREVIOUS TITLE: 1446-945
PROPERTY STREET ADDRESS: 762 GILLINGARRA RD, REGANS FORD.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF DANDARAGAN

STRUCTURAL NOTES

SITE CLASSIFICATION

Design wind classification to AS1170.2
 Region = A
 Terrain category = 2.0
 Topographic multiplier = 1.0
 Shielding multiplier = 0.9
 Probability of exceedance = 1:500

A-Soil classification in accordance with AS2870 Residential Slabs and Footings. Soil Classification to be confirmed by builder.

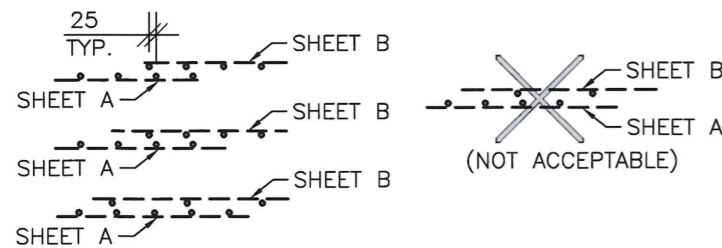
R3-Durability classification in accordance with AS/NZS2699.

GENERAL

1. Read this drawing in conjunction with the specification, architectural and service drawings.
2. Any reference to "engineer" shall be taken to mean a certified representative of B. Waddell Consulting Engineers Pty Ltd.
3. All dimensions are in millimeters U.N.O.
4. All work to be in accordance with the Building Code of Australia and local authority requirements as well as latest revisions of the relevant Australian Standards.
5. All dimensions and site conditions to be checked on site by the builder, and the engineer notified of any discrepancies.
6. Do not scale from drawings.

EARTHWORKS

1. All earthworks shall be in accordance with AS3798.
2. Clear out tree stumps, unsuitable fill or materials and replace with clean compacted fill or lean mix concrete as required by the engineer.
3. All fill material to be clean sand.
4. All fill to be compacted in well watered 300mm maximum thickness layers using clean well graded sand to achieve a minimum of 7 blows per 300mm using a Standard Perth Penetrometer. Ground must be tested to a minimum of 600mm below the underside of footings and slabs in natural ground and for the full depth of all sand fill and have increasing number of recorded blows per 300mm. Compact bottoms of trench footings where natural sand provides penetrometer readings less than 6 blows per 300mm.
5. The engineer to be notified for checking of cut sites prior to the placement of fill in all instances other than natural sand.
6. Drainage requirements (subsoil, runoff and stormwater) are to be determined on site. Drain roof and surface water away from footings.
7. Do not use compaction methods that may cause damage to adjacent structures. Selection of compaction methods shall be the builders responsibility.



ALTERNATIVE METHODS OF LAPPING OF MESH

N.T.S.
 THE WIRE ORIENTATION IS ILLUSTRATIVE ONLY

STEELWORK

1. All hot rolled steelwork shall be fabricated and erected in accordance with AS4100.
2. All cold formed steelwork shall be fabricated and erected in accordance with AS4600.
3. Minimum structural steel connection shall be 8 PL cleat and 2 M16 8.8/S bolts U.N.O.
4. All nuts, washers and bolts (including hold-down bolts) to be hot dipped galvanised (or cadmium plate if not exposed).
5. All welding shall be to AS1554. Welds shall be 6mm continuous fillet U.N.O. Ensure steelwork is cleaned back to white metal surface and free of rust, scale etc prior to welding.
6. Sections shall not be spliced other than at joints shown unless approved by the engineer.
7. Holes for chemical anchors that are diamond-core drilled are to be roughened prior to installation of anchor.
8. All external steelwork including lintels, all columns built into cavities and all steelwork cast into concrete to be hot dipped galvanised. All other steelwork to be primed with 50 microns of zinc phosphate over hand tool cleaning.
9. All site welding to be touched up with a zinc rich epoxy paint after thoroughly wire brushing.
10. Hollow sections to have ends sealed with minimum 5 mm plate.
11. All hot dipped galvanising shall be in accordance with AS4680.

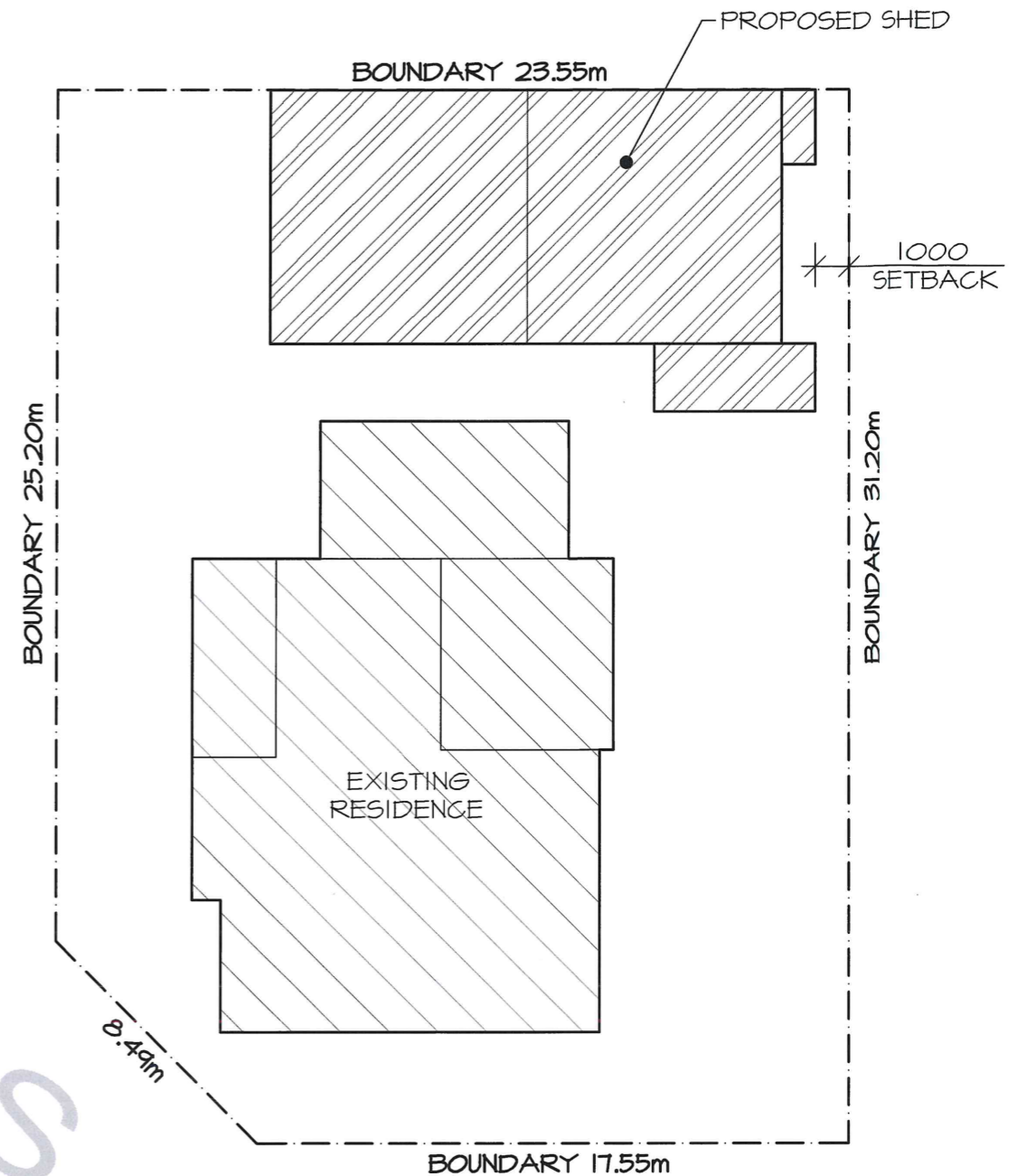
GUTTERS AND DRAINAGE

1. All gutters and box gutters to be designed by others but shall comply with the following.
2. All gutters and box gutters shall be in accordance with the National Construction Code and AS/NZS3500.3
3. All box gutters shall have a free to air overflow in accordance with AS/NZS3500.3
4. Eave gutters and external gutters shall be designed for a 20 year ARI.
5. Box gutters and valley gutters shall be designed for a 100 year ARI.
6. Minimum width for a residential box gutter to be 200mm. Minimum width for a commercial box gutter to be 300mm.

CONCRETE

1. All concrete shall conform to requirements of AS3600.
2. Mesh reinforcement shall be lapped by at least two cross bars according to Manufacturer's instructions.
3. Minimum lap length of reinforcement to be 40 bar diameters.
4. Concrete shall have minimum 28 day compressive strength and properties of:
 - Slab on ground : N25/20/80
 - All other concrete : N20/20/80
5. No additional water shall be added to the concrete mix on site.
6. All concrete shall be well-vibrated.
7. All concrete surfaces shall be cured by ponding for 7 days or by an alternative method approved by the engineer.
8. All reinforcement to suspended slabs shall be inspected by the engineer prior to pouring with at least 24 hours notice given.
9. Cement shall be Type GP Portland Cement as per AS1315.
10. Maximum slump shall be 80mm.
11. Cover to reinforcement shall be U.N.O:

Footings	65mm
Ground slab	25mm
12. Reinforcement is to conform to AS4671.
13. Support all reinforcement adequately and accurately on engineer approved plastic chairs at 750mm maximum centers.

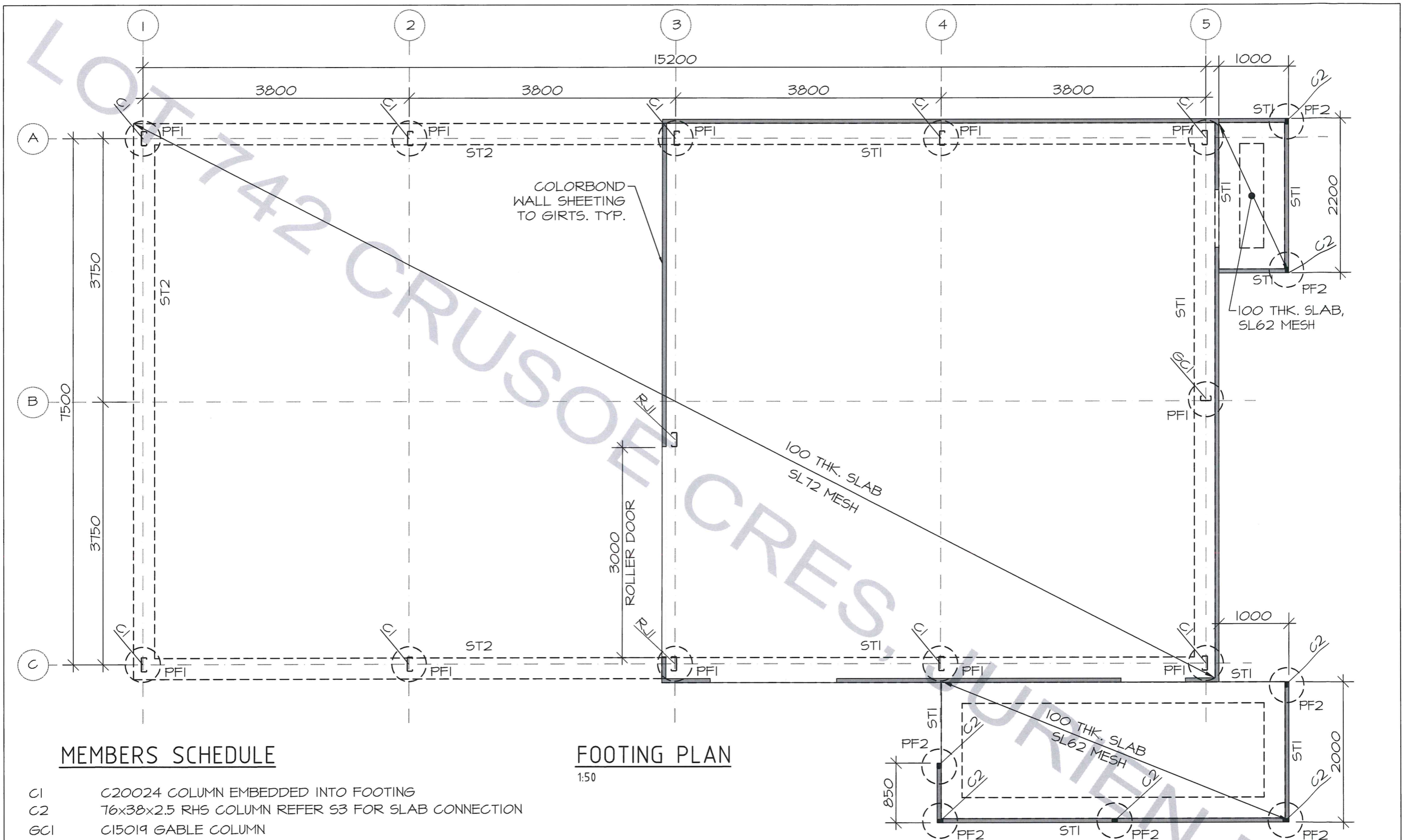


BLOCK PLAN
 1:200



DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				 BRETT WADDELL BEng CWEng FIEAust CPEng NER No.465326 RPEQ	 B WADDELL CONSULTING ENGINEERS	Project LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED	Job No: 3317
B	RDB	22/03/24	ISSUED FOR BUILDING APPROVAL					Date MARCH 2023	Client BURGESS AND HOBBS WELDING AND ENGINEERING	Drg No: S1
A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL	Scale AS SHOWN AT A3			
REV	BY	DATE	REVISION DESCRIPTION				

Attachment: 9.3.2



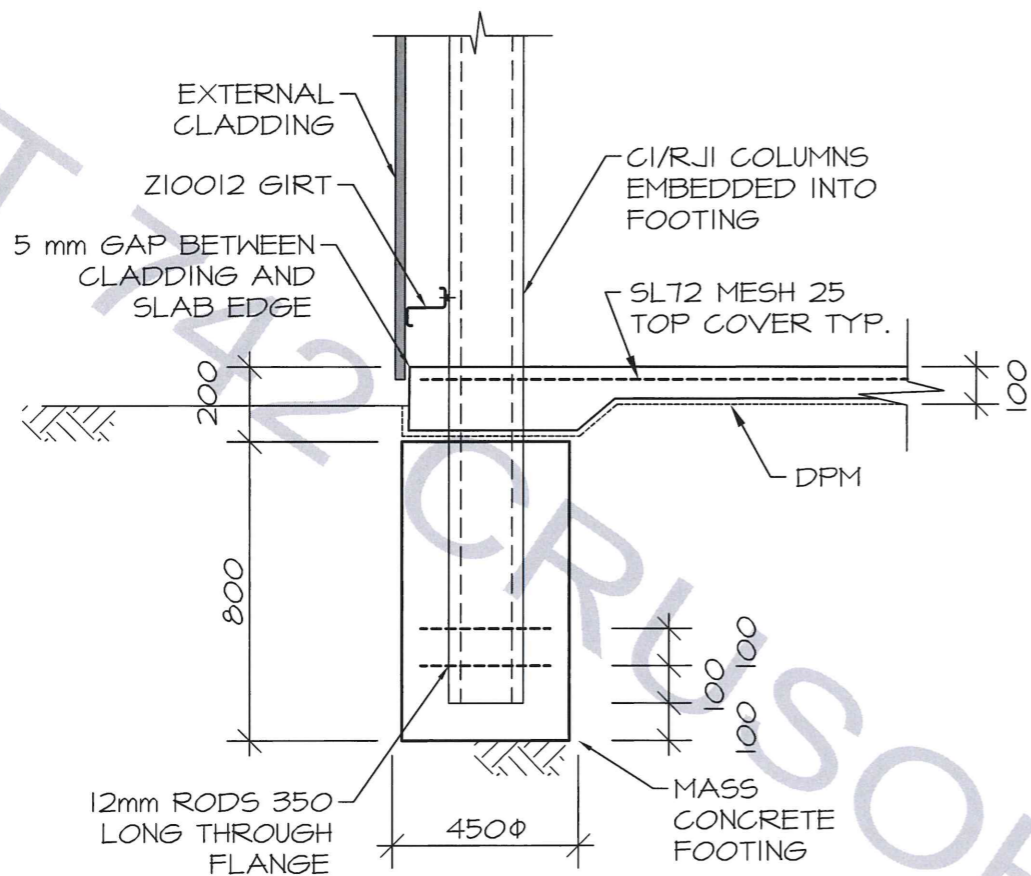
MEMBERS SCHEDULE

FOOTING PLAN

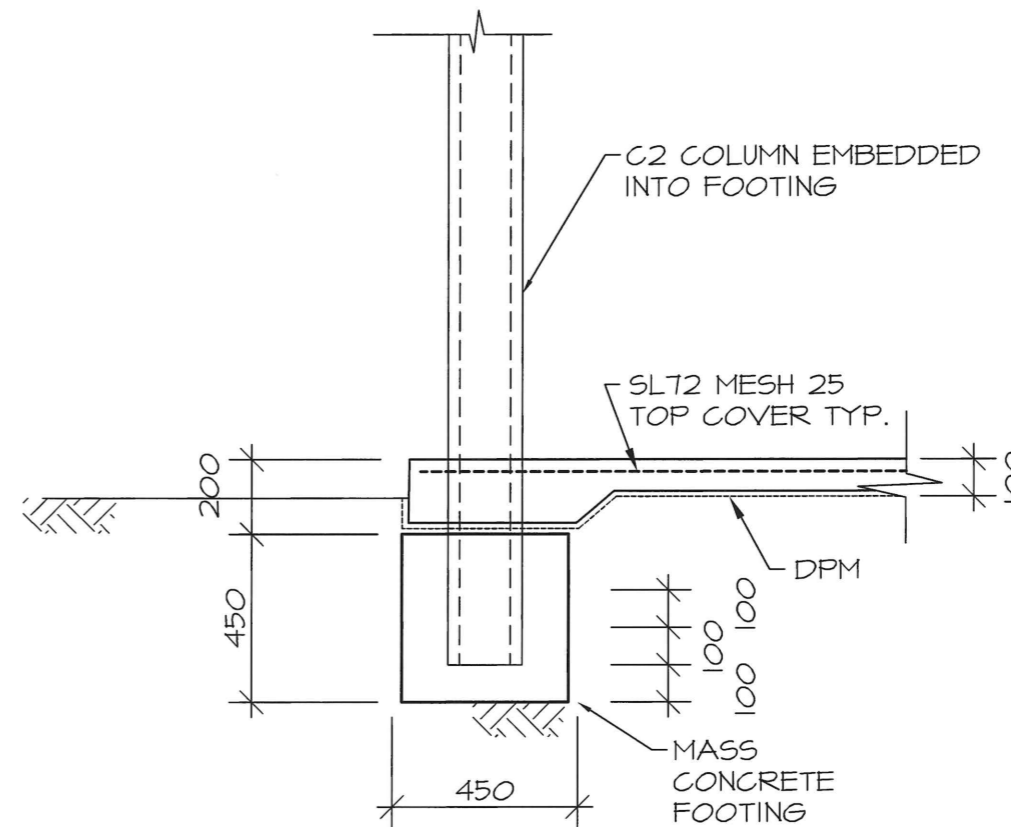
1:50

- C1 C20024 COLUMN EMBEDDED INTO FOOTING
- C2 T6x38x2.5 RHS COLUMN REFER S3 FOR SLAB CONNECTION
- GC1 C15019 GABLE COLUMN
- RJ1 C20024 ROLLER DOOR JAM
- PF1 450φx800 DEEP MASS CONCRETE FOOTING. REFER DETAIL ON S3
- PF2 450x450x450 DEEP MASS CONCRETE FOOTING. REFER DETAIL ON S3
- ST1/ST2 SLAB THICKENING. REFER DETAIL ON S3
- SLAB MESH TO HAVE 25 TOP COVER
- SLAB ON 0.2 mm POLYTHENE DPM LAID ON COMPACT SAND

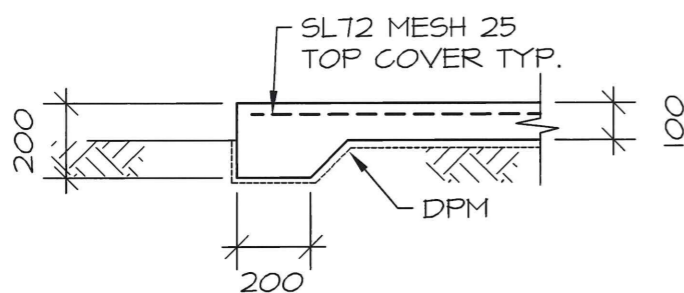
DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				<p>BRETT WADDELL BEng CWEng FIEAust CPEng NER No.465326 RPEQ</p>	<p>B WADDELL CONSULTING ENGINEERS</p>	<p>Project LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED</p> <p>Client BURGESS AND HOBBS WELDING AND ENGINEERING</p>	<p>Job No: 33172</p> <p>Drg No: S2</p>
REV	BY	DATE	REVISION DESCRIPTION				
B	RDB	22/03/24	ISSUED FOR BUILDING APPROVAL	Date MARCH 2023			
A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL	Scale AS SHOWN AT A3			



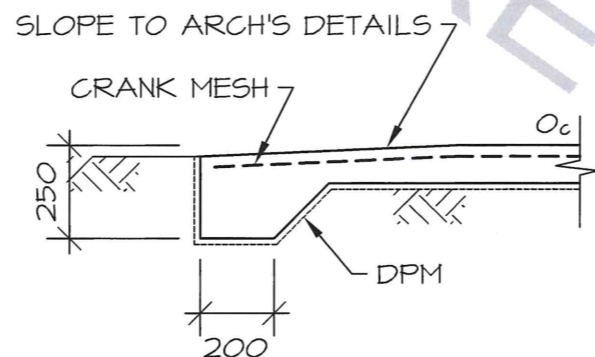
PAD FOOTING PF1
1:20



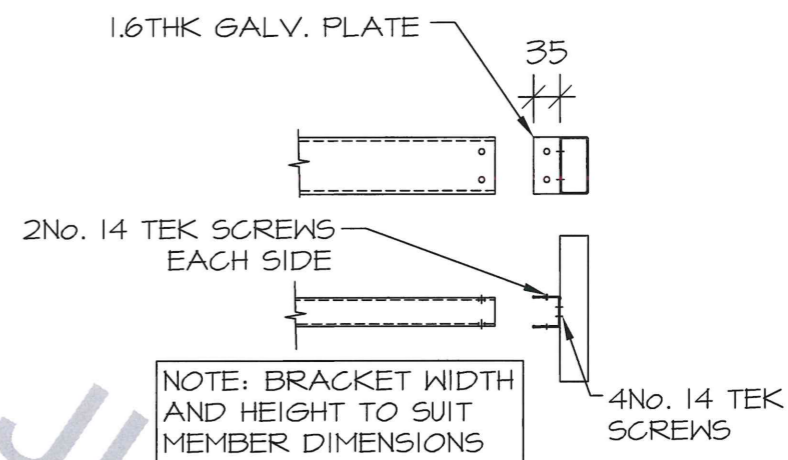
PAD FOOTING PF2
1:20





SLAB THICKENING ST1
1:20

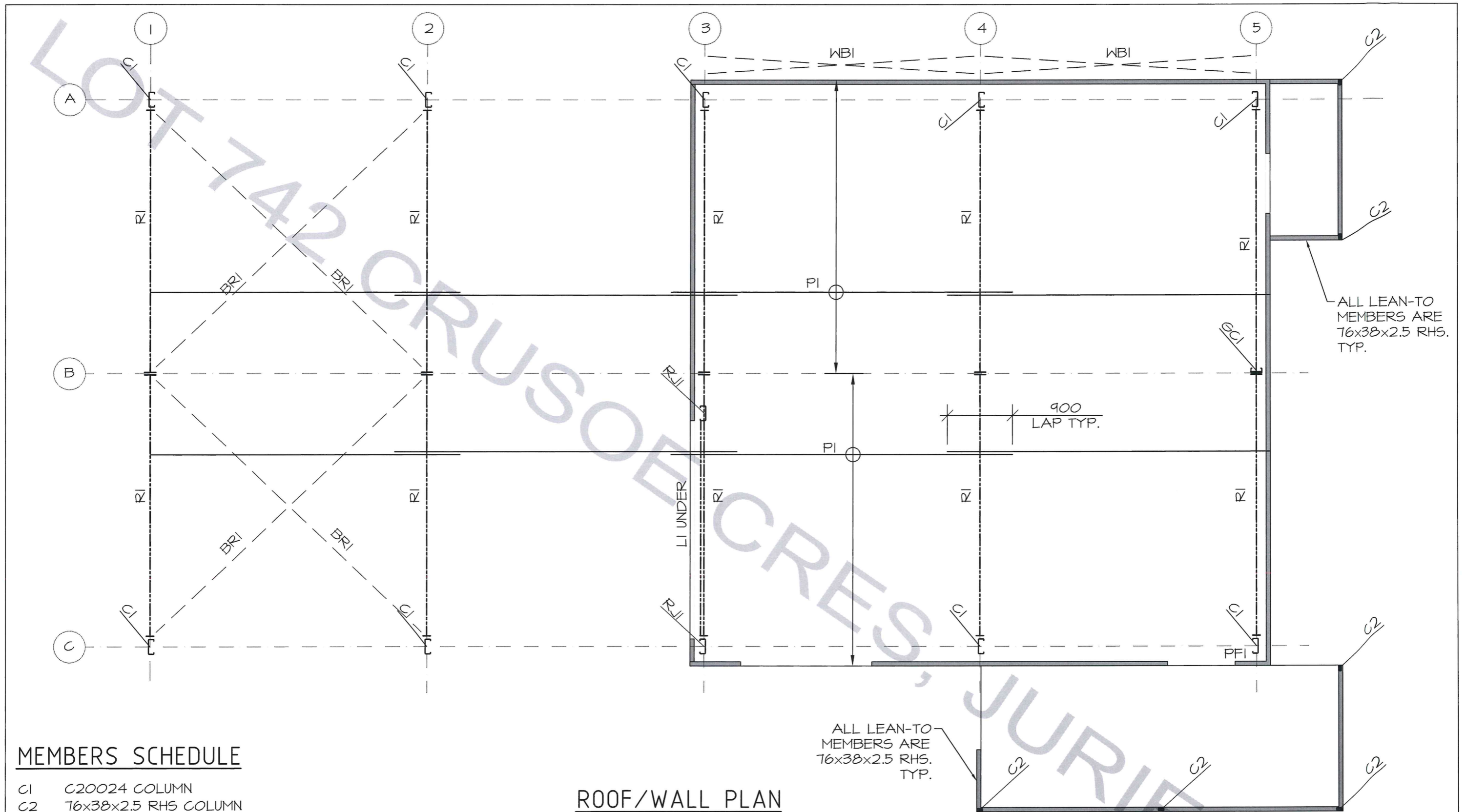


SLAB THICKENING ST2
1:20



TYPICAL LEAN-TO INTERNAL BRACKET CONNECTIONS
N.T.S.

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				 BRETT WADDELL BEng CWEng FIEAust CPEng NER No.465326 RPEQ	 B WADDELL CONSULTING ENGINEERS	Project LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED	Job No: 33172
B	RDB	22/03/24	ISSUED FOR BUILDING APPROVAL					Date MARCH 2023	Client BURGESS AND HOBBS WELDING AND ENGINEERING	Drg No: S3
A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL	Scale AS SHOWN AT A3			
REV	BY	DATE	REVISION DESCRIPTION				



MEMBERS SCHEDULE

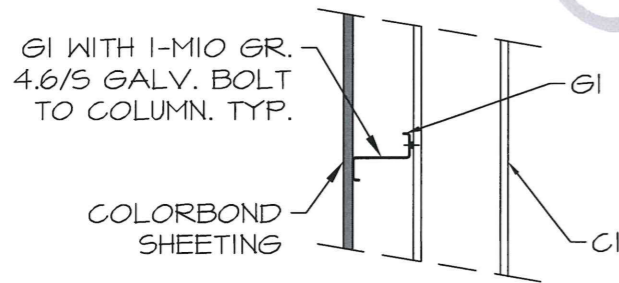
- C1 C20024 COLUMN
- C2 76x38x2.5 RHS COLUMN
- G1 C15019 GABLE COLUMN
- RJ C20024 ROLLER DOOR JAM
- RI C20024 RAFTER
- PI Z10012 PURLIN AT 1200 MAX. CTS. WITH 1 ROW OF BRIDGING AT MID POINT
- RJI C20024 ROLLER DOOR JAMB
- LI C15015 LINTEL
- BRI 8mm WIRE 1770 MPA ROOF BRACING TO BE TURNBUCKLE FIXED WITH MIN. THREE WIRE ROPE GRIPS AT TERMINATION. REFER WIRE CONNECTION DETAIL ON S6.
- WBI 8mm WIRE 1770 MPA WALL BRACING TO BE TURNBUCKLE FIXED WITH MIN. THREE WIRE ROPE GRIPS AT TERMINATION. REFER WIRE CONNECTION DETAIL ON S6.

ROOF/WALL PLAN

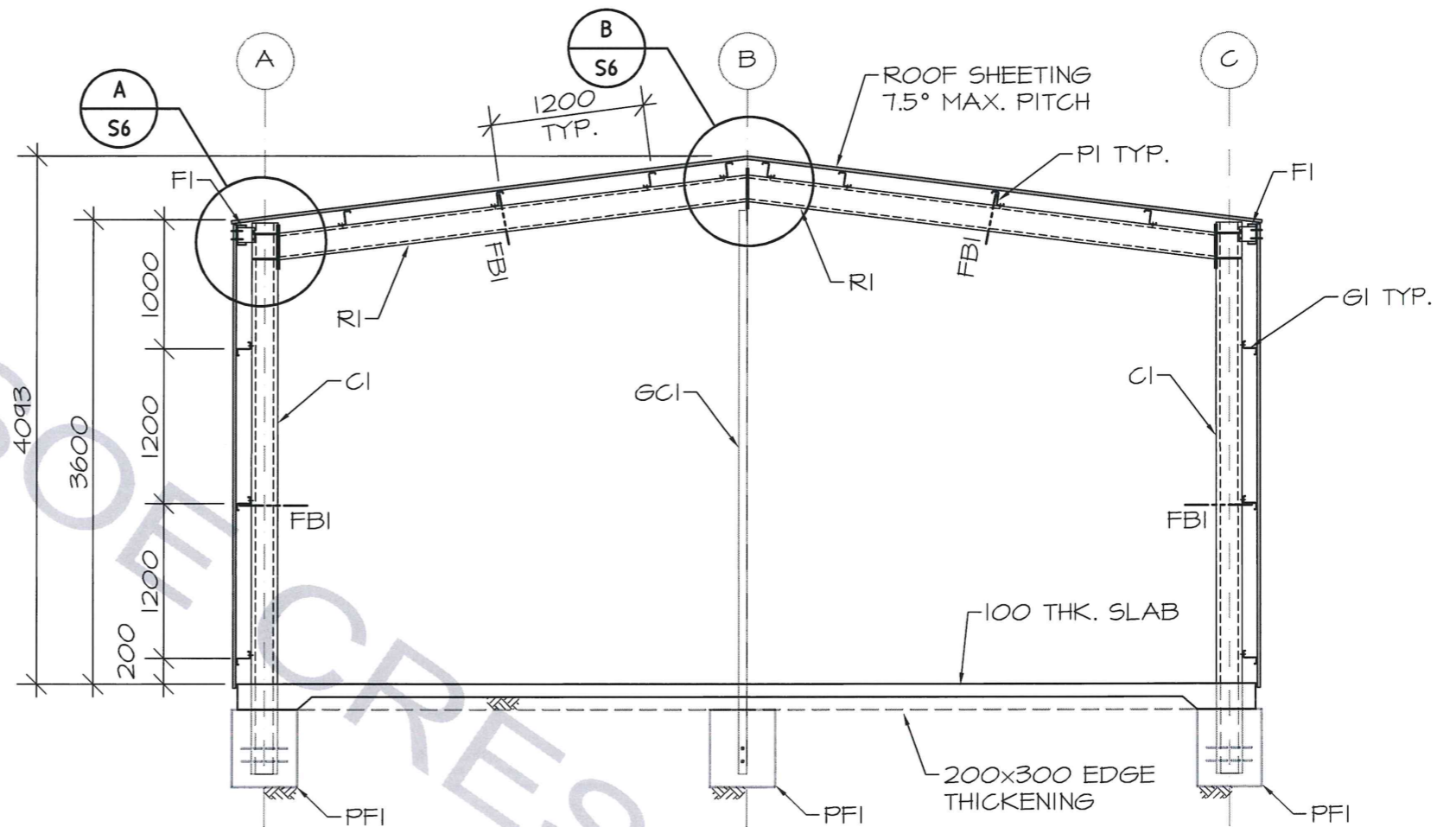
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DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				BRETT WADDELL BEng CWEng FIEAust CPEng NER No.465326 RPEQ	B WADDELL CONSULTING ENGINEERS	Project LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED	Job No: 33172
Date	MARCH 2023		Client					BURGESS AND HOBBS WELDING AND ENGINEERING
REV	BY	DATE	REVISION DESCRIPTION	Scale	AS SHOWN AT A3		Drg No: S4
B	RDB	22/03/24	ISSUED FOR BUILDING APPROVAL				
A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL				

LOT 742 CRUSOE CRES, JURIE BAY



TYPICAL GIRT CONNECTION
N.T.S. SIMILAR FOR PURLIN CONNECTION





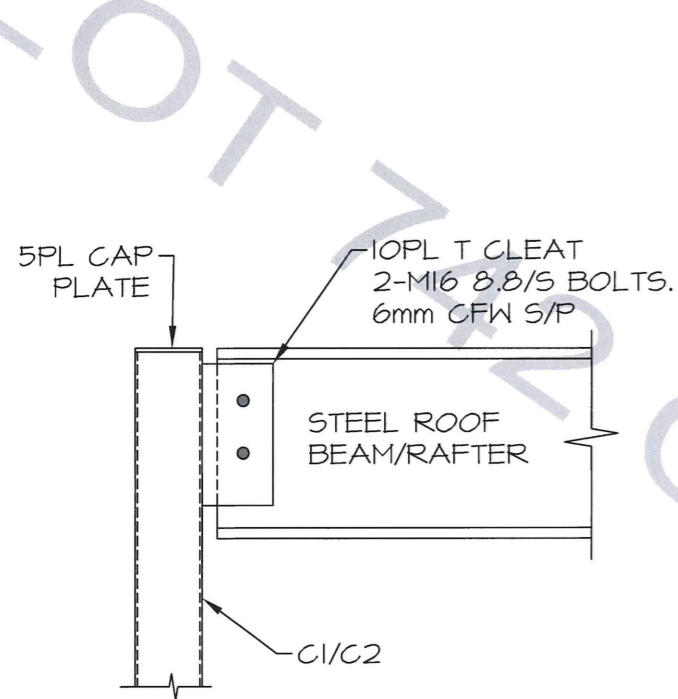
TYPICAL SECTION

1:50

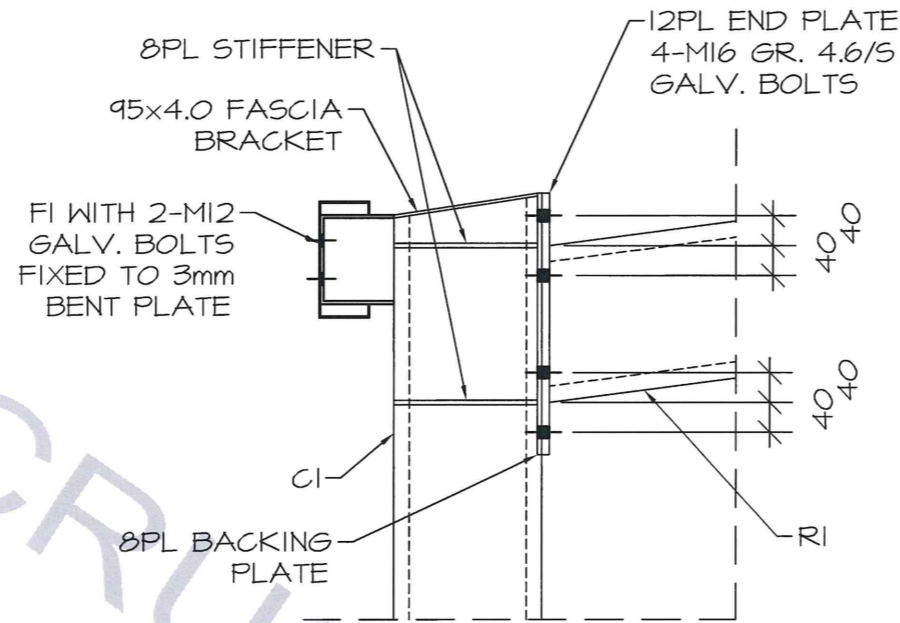
MEMBERS SCHEDULE

- CI C20024 COLUMN
- GCI C15019 GABLE COLUMN
- RJI C20024 ROLLER DOOR JAM
- RI C20024 RAFTER
- GI Z10012 GIRT AT 1200 MAX. CTS. WITH 1-M10 GR. 4.6/5 GALV. BOLT TO COLUMN
- PI Z10012 PURLIN AT 1200 MAX. CTS. WITH 1-M10 GR. 4.6/5 GALV. BOLT TO RAFTER. 1 ROW OF BRIDGING AT MID POINT
- FI C15019 FASCIA
- FBI FLY BRACE REFER DETAIL ON S6

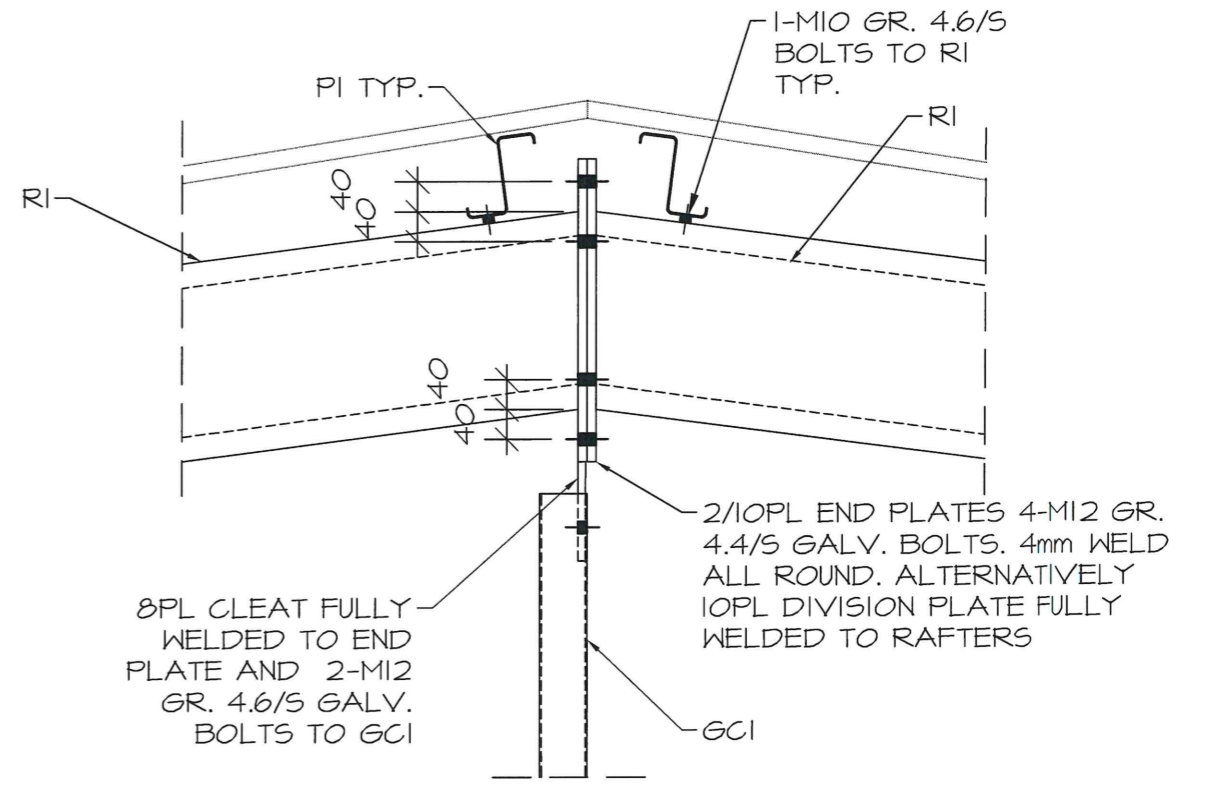
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				Date MARCH 2023	Client BURGESS AND HOBBS WELDING AND ENGINEERING	Drg No: S5	
B	RDB	22/03/24	ISSUED FOR BUILDING APPROVAL	Scale AS SHOWN AT A3			
A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL				
REV	BY	DATE	REVISION DESCRIPTION				



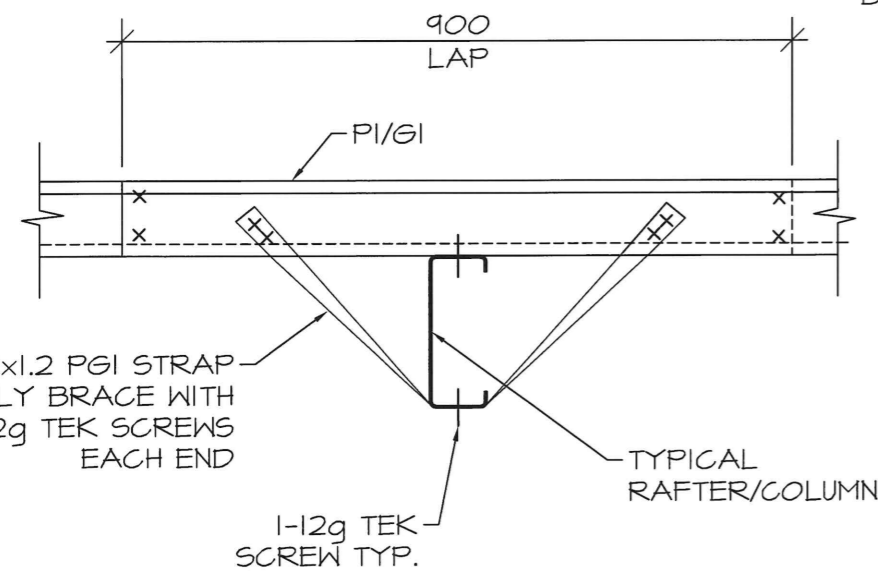
TYPICAL COLUMN TO STEEL ROOF BEAM/RAFTER CONNECTION
N.T.S.



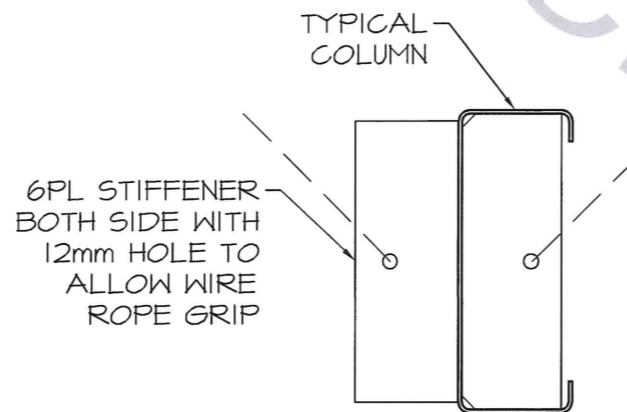
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SCALE 1:10
S5



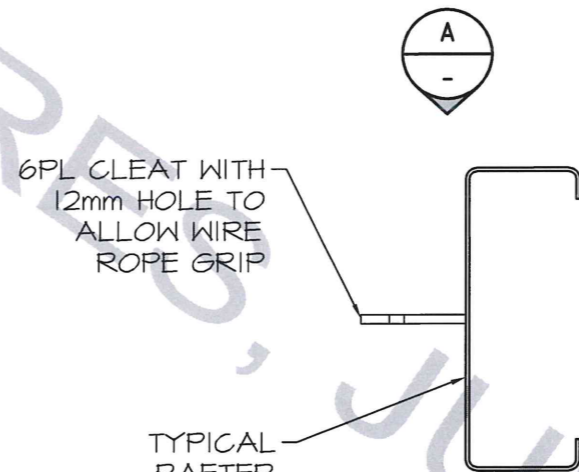
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S5



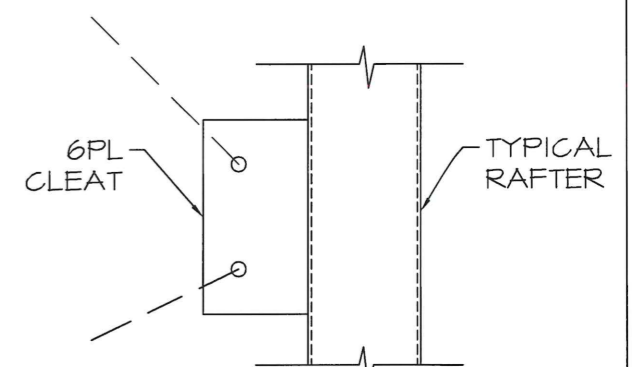
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1:10



COLUMN TO WIRE CONNECTION
1:5



RAFTER TO WIRE CONNECTION
1:5



VIEW A
SCALE 1:5

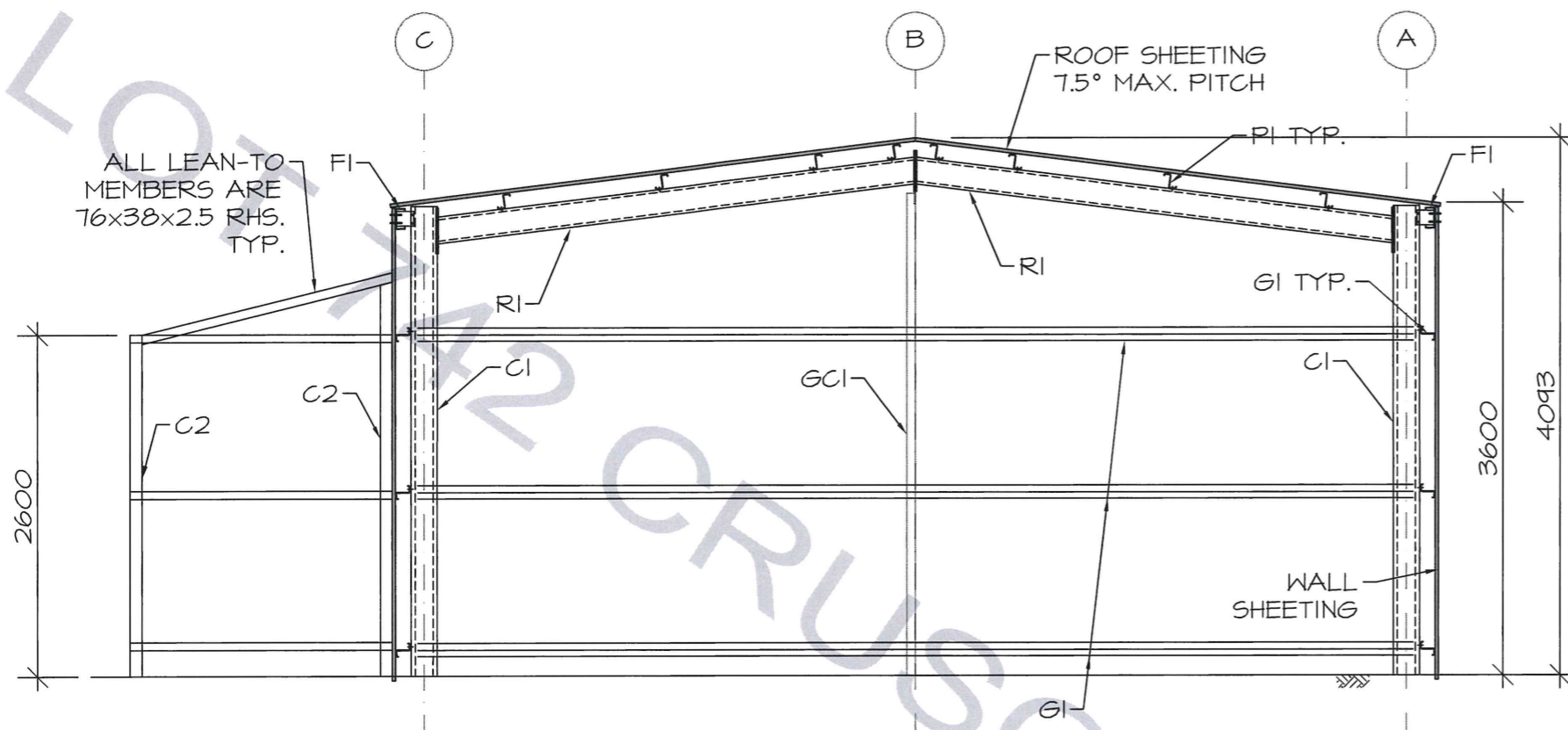
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A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL
REV	BY	DATE	REVISION DESCRIPTION

BRETT WADDELL
BEng CWEng FIEAust CPEng
NER No.465326 RPEQ

Date
MARCH 2023

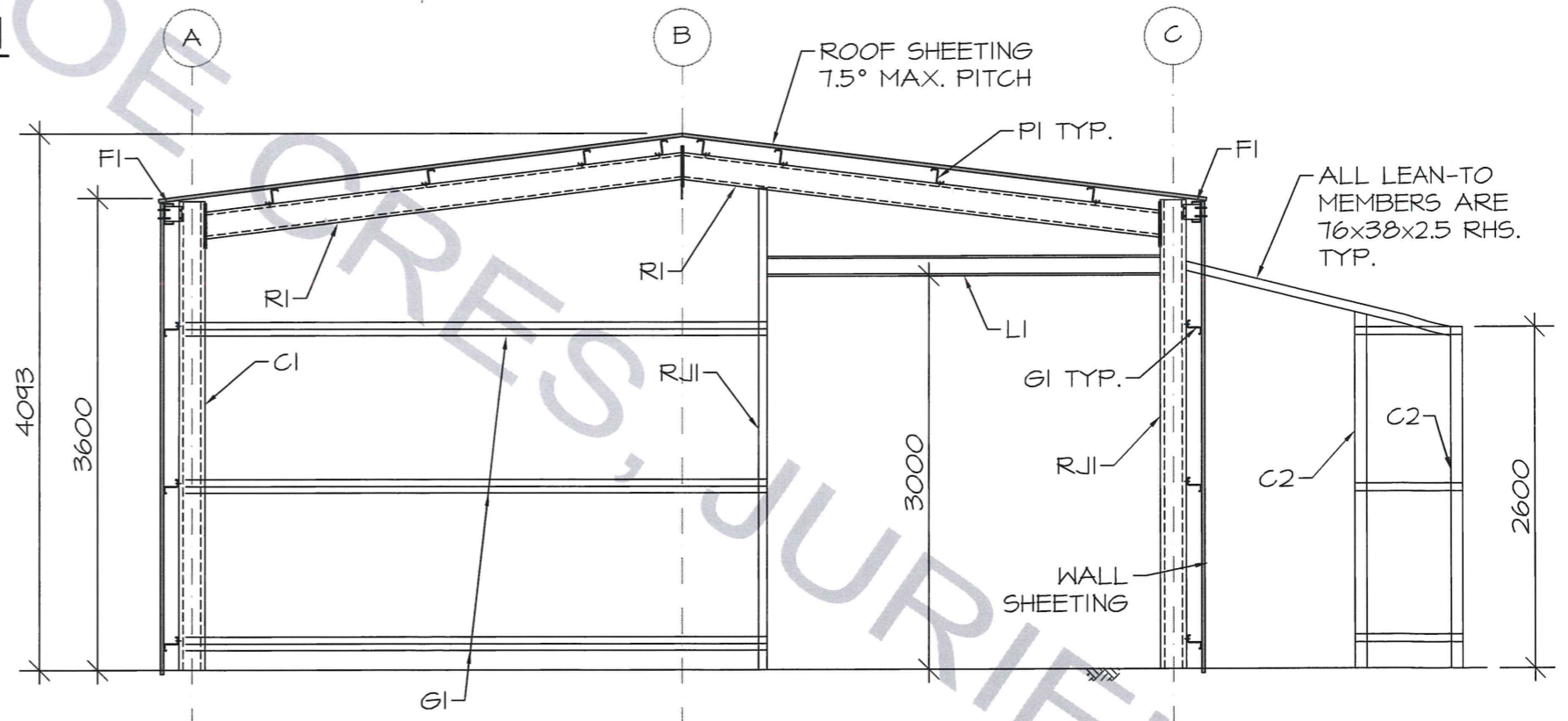
Scale
AS SHOWN AT A3

		B WADDELL CONSULTING ENGINEERS
Project	LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED	Job No: 33172
Client	BURGESS AND HOBBS WELDING AND ENGINEERING	Drg No: S6



BACK PORTAL ELEVATION

1:50


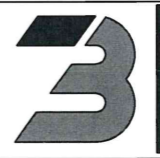


MIDDLE PORTAL ELEVATION

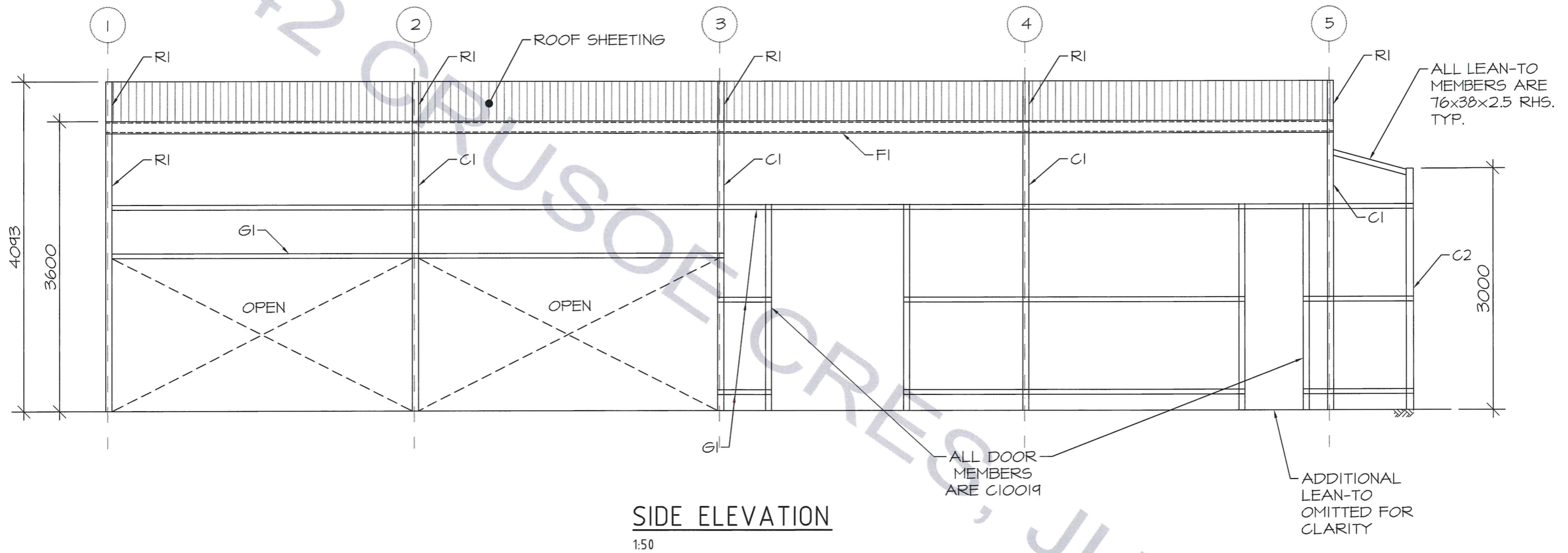
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MEMBERS SCHEDULE

- C1 C20024 COLUMN
- C2 76x38x2.5 RHS COLUMN
- GCI C15019 GABLE COLUMN
- RJI C20024 ROLLER DOOR JAM
- RI C20024 RAFTER
- GI Z10012 GIRT AT 1200 MAX. CTS. WITH 1-M10 GR. 4.6/5 GALV. BOLT TO COLUMN
- PI Z10012 PURLIN AT 1200 MAX. CTS. WITH 1-M10 GR. 4.6/5 GALV. BOLT TO RAFTER
- FI C15019 FASCIA
- LI C15015 LINTEL

DRAWING NOT VALID WITHOUT WATERMARKED ADDRESS				 BRETT WADDELL BEng CWEng FIEAust CPEng NER No.465326 RPEQ	 B WADDELL CONSULTING ENGINEERS	Project LOT 742 CRUSOE CRES, JURIE BAY PROPOSED SHED	Job No: 33172
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REV	BY	DATE	REVISION DESCRIPTION				

LOT 742



SIDE ELEVATION
1:50

MEMBERS SCHEDULE

- C1 C20024 COLUMN
- C2 76x38x2.5 RHS COLUMN
- RI C20024 RAFTER
- LI C15015 ROLLER DOOR JAMB
- FI C15019 FASCIA
- G1 Z10012 GIRT AT 1200 MAX. CTS. WITH 1-M10 GR. 4.6/5 GALV. BOLT TO COLUMN

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A	RDB	05/03/24	ISSUED FOR BUILDING APPROVAL				
REV	BY	DATE	REVISION DESCRIPTION				



Our ref: SPN/0419
Enquiries: Luke Pickersgill (6551 9493)

Brent Bailey
Chief Executive Officer
Shire of Dandaragan
PO Box 676
JURIEN BAY WA 6516

TRANSMITTED BY EMAIL ONLY: council@dandaragan.wa.gov.au

Attention: Planning department

Dear Mr Bailey

**JURIEN BAY (TURQUOISE COAST) STRUCTURE PLAN – FORM 5D
EXTENSION OF APPROVAL PERIOD – REQUEST FOR COMMENT**

The Western Australian Planning Commission (WAPC) has received an application to extend the approval period of the Jurien Bay (Turquoise Coast) Structure Plan prepared by Ardross Estates and is seeking comment from the Shire of Dandaragan.

Any comments or recommendations in relation to this proposal would be appreciated. Please forward your response by Friday 24 May.

An electronic copy of the original 2003 structure plan, 2009 amendment and 2009 amendment to Development Plan 3 relating to the structure plan can be provided if Council does not have copies of the approved plan.

If there are any queries, and to provide a response, please liaise with Luke Pickersgill via email Luke.Pickersgill@dplh.wa.gov.au or on 6551 9493.

Yours sincerely

Cath Meaghan
Planning Director, Regional Central

11 April 2024

Our reference: K2084:MPR/CRD:Letter 23060 Rev 0.docx
Enquiries: Michael Rogers, 0417 981 020

24 October 2023

Ardross Group of Companies
45 Ventnor Avenue
WEST PERTH WA 6005

Attention: Mr David Lantzke, dlantzke@ardross.com

Dear David

COASTAL HAZARD ASSESSMENT - JURIEN BAY TO HILL RIVER

As requested by Ardross Group of Companies (Ardross), we have examined the coastal erosion hazards for the Ardross property from south Jurien Bay to the Hill River. The aim being to guide coastal hazard considerations for the renewal of the Turquoise Coast Development Structure Plan. The subject property is shown on the attached Structure Plan provided by Ardross.

In 2018 the Shire of Dandaragan had Cardno prepare a Coastal Hazard Risk Management and Adaptation Plan (CHRMAP) for the Jurien townsite. This is reported in Cardno WA Pty Ltd document 59917806 dated 21 June 2018. The Cardno CHRMAP considers the coastal hazard of erosion for the Jurien townsite. The southernmost sector was named JB1 – South of Island Point. On page 34 for the Cardno document it is stated that this sector extends some 1.5 km south of Island Point.

The Cardno CHRMAP does not include any analysis of area south of JB1. The attached Ardross Structure Plan includes Cells 4 to 16 which are south of the currently developed Jurien townsite.

The coastal hazard arising from erosion for this land was examined by us in 1999. This assessment predates the State Coastal Planning Policy, Statement of Planning Policy 2.6 (SCPP). The erosion hazard was estimated using our own method. This method did include allowances for severe storm erosion, long term trends estimated using shoreline movement data, and an allowance for the impacts of climate change and associated sea level rise. This 1999 assessment indicated that the coastal erosion risk did vary along the coastline from Jurien Bay to the Hill River. And although similar to the SCPP method, the MRA 1999 assessment does not provide estimates required by the present day SCPP. There are differences in the data and calculations.

The SCPP was first promulgated in 2003 and over the last two decades there have been revisions to the policy and the data to be used in the estimation of the erosion hazards. The State Government plans to periodically review and update the policy in line with new information as it becomes available. We understand a revision is presently underway that may lead to changes to the policy or data to be used.

Ardross has advised that the development of the Cells 4 to 16 in the Structure Plan is likely to take several decades. The SCPP requirements are very likely to change over the development timeframe. So any detailed assessment of the coastal erosion hazards completed now, would most likely need to be redone to the requirements of a revised SCPP at the time of subdivision.

A sensible approach for the update of the Turquoise Coast Development Structure Plan would be to provide an interim allowance for Cells 4 to 16 now, with the commitment to complete the detailed work for the cell to the prevailing SCPP prior to all subdivision applications.

Having reviewed our previous work on the coastal erosion hazard and the Cardno CHRMAP, we would recommend that the revised Turquoise Coast Development Structure Plan use the following.

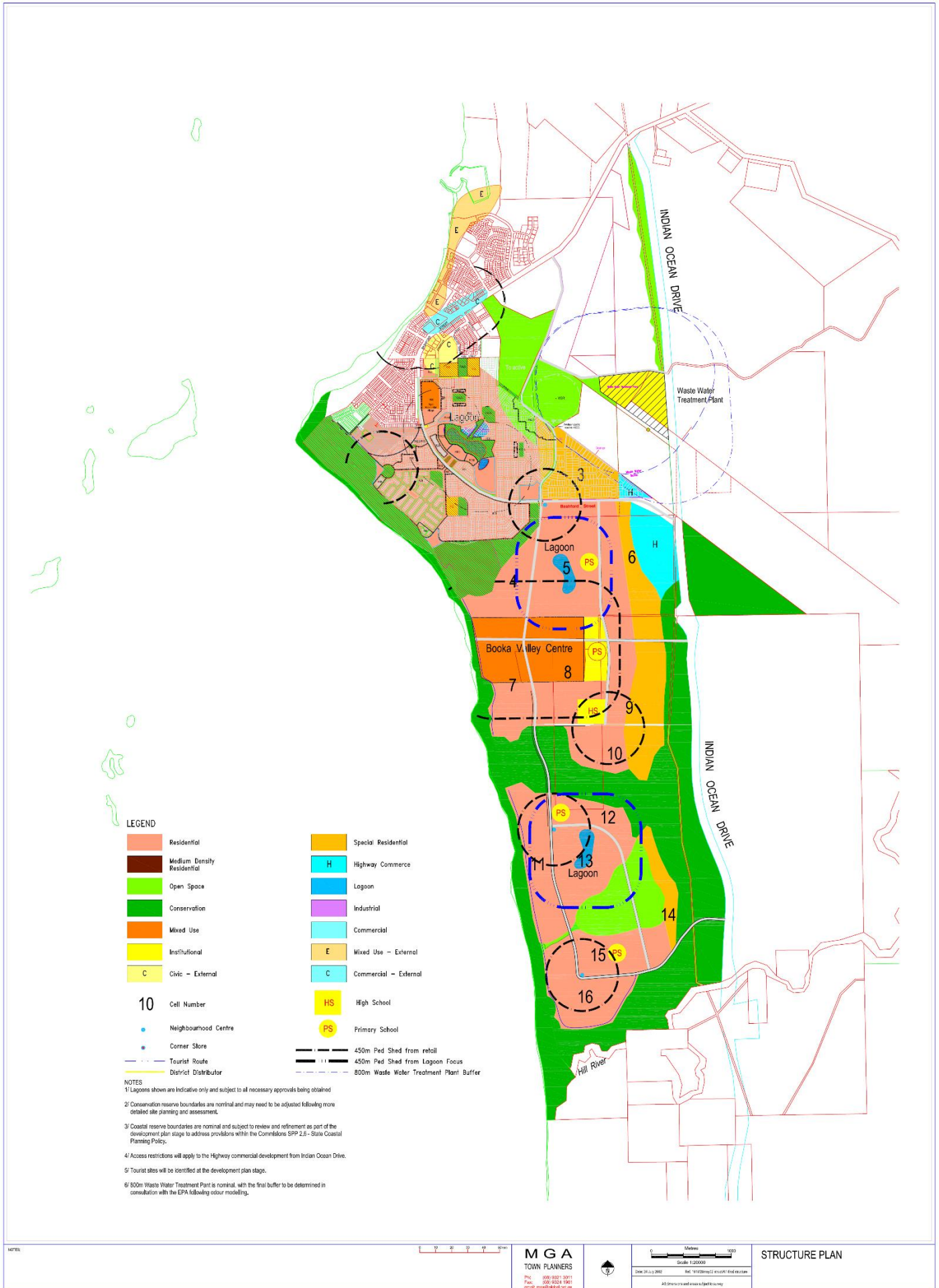
1. An interim Horizontal Shoreline Datum (HSD) of 1.6 mAHD. This is the value adopted by Cardno for the Jurien townsite in the CHRMAP.
2. An interim coastal erosion hazard of 200 m from the HSD. This is an interim allowance to account for S1 severe storm erosion, S2 historic shoreline movement trends, S3 future sea level rise, and a factor of safety.
3. A further allowance of 20 m for a local beach recreation zone behind the interim erosion hazard line.

We believe that this is a practical and responsible way of addressing the present and future requirements of the SCPP.

Yours sincerely

for and on behalf of
[m p rogers & associates pl](#)

Attached: Ardross Structure Plan prepared by MGA Town Planners and dated 24 July 2002



LEGEND

- | | |
|----------------------------|---|
| Residential | Special Residential |
| Medium Density Residential | Highway Commerce |
| Open Space | Lagoon |
| Conservation | Industrial |
| Mixed Use | Commercial |
| Institutional | Mixed Use - External |
| Civic - External | Commercial - External |
| 10 Cell Number | High School |
| Neighbourhood Centre | Primary School |
| Corner Store | 450m Ped Shed from retail |
| Tourist Route | 450m Ped Shed from Lagoon Focus |
| District Distributor | 800m Waste Water Treatment Plant Buffer |

- NOTES**
- 1) Lagoons shown are indicative only and subject to all necessary approvals being obtained
 - 2) Conservation reserve boundaries are nominal and may need to be adjusted following more detailed site planning and assessment.
 - 3) Coastal reserve boundaries are nominal and subject to review and refinement as part of the development plan stage to address provisions within the Comptrols SPP 2.5 - State Coastal Planning Policy.
 - 4) Access restrictions will apply to the Highway commercial development from Indian Ocean Drive.
 - 5) Tourist sites will be identified at the development plan stage.
 - 6) 500m Waste Water Treatment Plant is nominal, with the final buffer to be determined in consultation with the EPA following odour modelling.

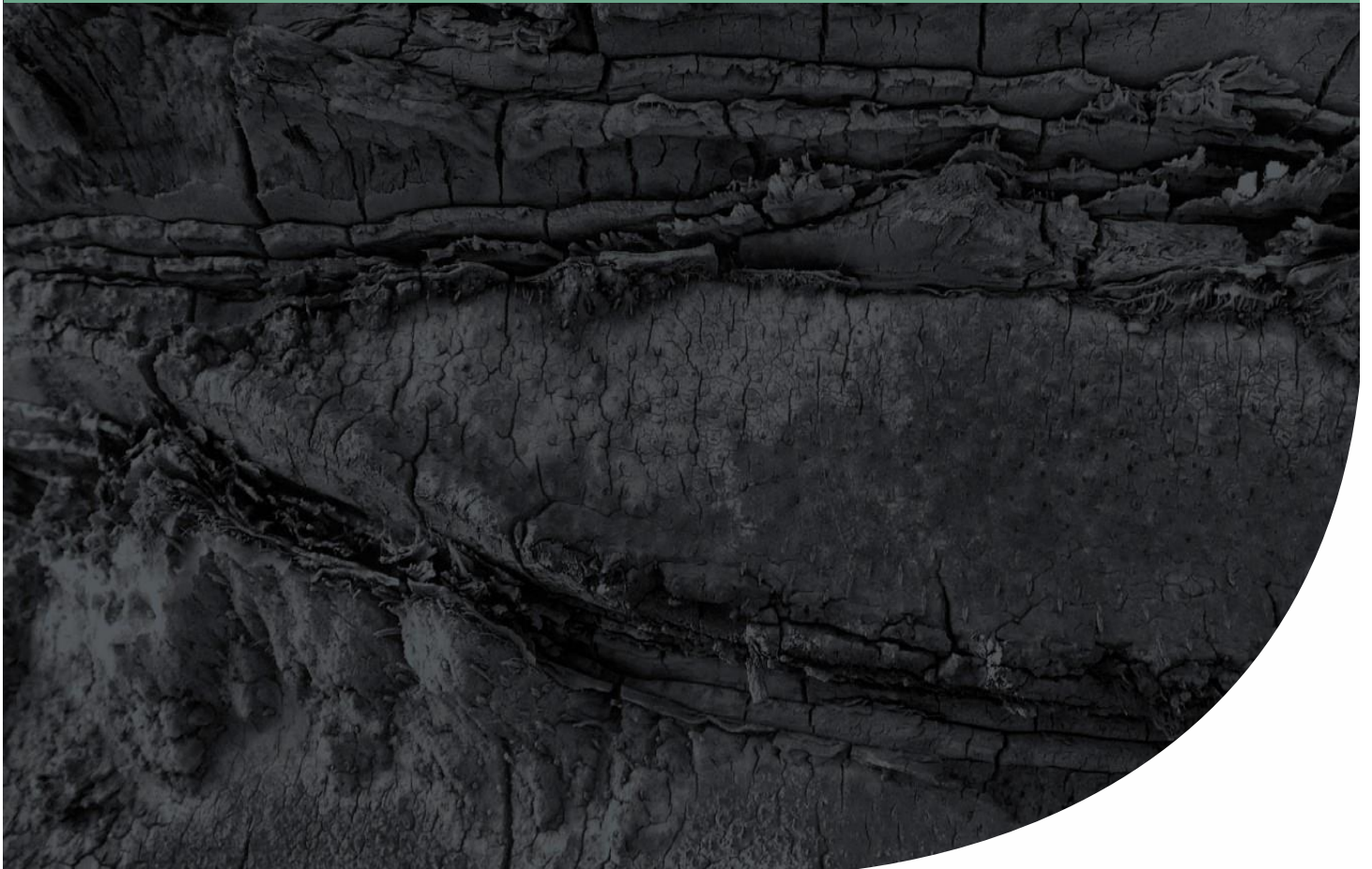
<p>NOTES</p>		<p>MGA TOWN PLANNERS</p> <p>Ph: (08) 9321 3011 Ph: (08) 9324 1961 Email: mgp@gaol.net.au</p>	<p>Scale: 1:20000</p> <p>Date: 28.11.2002</p> <p>File: J2084rev02.dwg/03 final.dwg</p> <p>All drawings and areas subject to change.</p>	<p>STRUCTURE PLAN</p>
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Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan

Project No: EP22-038(03)

**Prepared for Ardross Estates Pty Ltd
December 2023**



Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



Document Control

Doc name:		Bushfire Hazard Level Assessment Turquoise Coast Development Structure Plan			
Doc no.:		EP22-038(03)--004 SPL			
Version	Date	Author		Reviewer	
1	December 2023	Samuel Luckas	SPL	Kirsten Knox	KK
				Anthony Rowe	AJR
Report issued to client.					

Disclaimer:

This document has been prepared in good faith and is derived from information sources believed to be reliable and accurate at the time of publication. Nevertheless, it is distributed on the terms and understanding that the author is not liable for any error or omission in the information sources available or provided to us, or responsible for the outcomes of any actions taken based on the recommendations contained herein. It is also expected that our recommendations will be implemented in their entirety, and we cannot be held responsible for any consequences arising from partial or incorrect implementation of the recommendations provided.

This document has been prepared primarily to consider the layout of development and/or the appropriate building construction standards applicable to development, where relevant. The measures outlined are considered to be prudent minimum standards only based on the standards prescribed by the relevant authorities. The level of bushfire risk mitigation achieved will depend upon the actions of the landowner or occupiers of the land and is not the responsibility of the author. The relevant local government and fire authority (i.e. Department of Fire and Emergency Services or local bushfire brigade) should be approached for guidance on preparing for and responding to a bushfire.

Notwithstanding the precautions recommended in this document, it should always be remembered that bushfires burn under a wide range of conditions which can be unpredictable. An element of risk, no matter how small, will always remain. The objective of the Australian Standard AS 3959:2018 is to "prescribe particular construction details for buildings to reduce the risk of ignition from a bushfire" (Standards Australia 2018). Building to the standards outlined in AS 3959 does not guarantee a building will survive a bushfire or that lives will not be threatened by the effects of bushfire attack.

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



Executive Summary

Ardross Estates Pty Ltd (the proponent) are renewing the Turquoise Coast Development Structure Plan, located within the Shire of Dandaragan . It encompasses various landholdings `of approximately 2000 ha and is generally bounded by the Jurien Bay townsite to the north, Hill River to the south, the Indian Ocean to the west and Indian Ocean Drive to the east and is herein referred to as ‘the site’.

The Turquoise Coast Development Structure Plan (herein referred to as ‘the SP’) was approved in 2003 with subsequent development plans approved over the area. Development in the northern portion of the site is progressing in accordance with the current SP. The SP provides a comprehensive planning framework to guide future planning for Jurien Bay by depicting spatial land uses and outlining processes to guide subsequent stages of development. It is consistent with the Shire of Dandaragan *Local Planning Strategy 2020*, which identifies the site and the associated land as reserved for ‘Future residential’ land uses with portions identified as ‘conservation’ and ‘open space’ reserves. The majority of the site is zoned ‘Special development’ under the Shire of Dandaragan *Local Planning Scheme No.7* (LPS No. 7), with the western coastal boundary reserved ‘parks and recreation’ and associated with the foreshore area.

The site is designated as a ‘bushfire prone area’ under the state-wide *Map of Bush Fire Prone Areas* prepared by the Office of Bushfire Risk Management (OBRM 2021). The identification of a site within an area declared as bushfire prone necessitates further assessment of the determined bushfire risk affecting the site in accordance with *Australian Standard 3959:2018 Construction of buildings in bushfire prone areas* (AS 3959), and the satisfactory compliance of the proposal with the policy measures described in *State Planning Policy 3.7 Planning in Bushfire Prone Areas* (SPP 3.7) (WAPC 2015) and the *Guidelines for Planning in Bushfire Prone Areas Version 1.4* (the Guidelines) (DPLH & WAPC 2021).

The purpose of this bushfire hazard level (BHL) assessment is to address the requirements of policy measure 6.3 under SPP 3.7, which sets out the information to support strategic planning proposals. It assesses bushfire hazards affecting the site (risk) and identifies the ‘management’ strategies (risk treatments) required to ensure the development can achieve the intent of SPP 3.7 as development in accordance with the structure plan progresses – *to preserve life and reduce the impact of bushfire on property and infrastructure*.

As part of assessing bushfire hazards in accordance with SPP 3.7 and the Guidelines, both existing vegetation conditions and the long-term bushfire risk based on development in accordance with the SP have been considered in accordance with AS 3959. The following bushfire hazards were identified as applicable to the site:

- Forest (Class A) vegetation within the southern portion of the site adjacent to Hill River and comprises mature trees and dense bushland.
- Shrubland (Class C) vegetation adjacent to the western boundary of the site, associated with the coastal foreshore reserve and areas of conservation reserve proposed within the site. This vegetation is between 1-2 m in height with a high foliage density and is characteristic of a narrow band of vegetation that interfaces with the ocean along the coastline.

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



- Scrub (Class D) vegetation associated with the conservation reserves proposed throughout the site, as well as east of Indian Ocean Drive. The majority of the site is comprised of scrub vegetation but will be removed as part of development progressing. This vegetation comprises shrubs growing to a height of approximately 2-4 m in height, with a greater than 30% foliage cover.
- Grassland (Class G) vegetation, associated with cleared unmanaged land to the north-east. The grass cover varies in density and height but generally grows to a height of more than 100 mm.

The Guidelines provide a method for understanding bushfire hazard, with forest and scrub considered an 'extreme' hazard and shrubland and grassland as a 'moderate' hazard. Any land within 100 m of extreme or moderate hazards also receive a moderate hazard rating. As development progresses in accordance with the SP, future urban land uses will be in an area subject to a low or moderate bushfire hazard, whilst the proposed conservation reserves will remain as an extreme or moderate hazard rating. For the purposes of this assessment, open space areas (while potentially subject to landscaping and management in the future) have been assumed to remain in scrub condition, an extreme hazard rating.

The bushfire protection criteria provided in the Guidelines represent the risk treatments applicable to achieving the intent and the objectives listed in SPP 3.7. They are divided into four subsystems (elements), plus a standalone element for tourism. Each subsystem is provided with an intent and solution methods, either performance principle or by acceptable solution (predetermined solution). Compliance with each subsystem (as a risk treatment) is required to demonstrate to the decision maker, that the risk is consistent with the intent of SPP 3.7.

A bushfire attack level (BAL) contour plan has not been prepared to support this assessment given the detailed layout is not available, however guidance on addressing the bushfire protection criteria has outlined and demonstrates that acceptable solutions can be satisfied at later stages in the development process. This includes:

- **Location:** The site is located in an area currently subject to a predominantly 'extreme' bushfire hazard level based on the dominant scrub vegetation. The existing classified vegetation within the site (excluding the proposed conservation and open space reserves) is expected to be removed as part of future development, in accordance with the SP. As such, bushfire hazard levels within the urban areas of the site will be reduced to be predominantly 'low' or 'moderate'.
- **Siting and Design:** The SP identifies the high-level components of future urban land uses (i.e. major arterial roads, urban development areas and proposed reserves), the development layout will be detailed in future planning stages. The site is large and provides the ability to establish appropriate separations from classified vegetation (developable area) enabling future development to comply with intent of Element 2: to avoid the siting of development within flame contact (greater than BAL 29). The separation can be achieved by the placement of public roads, public open space, and by in-lot setbacks.
- **Vehicular Access:** The site is bordered to the east by Indian Ocean Drive, which provides to the north, towards Jurien Bay townsite and to the south towards Cervantes and other nearby towns. The indicative arterial road network within the SP provides for multiple connections to Indian Ocean Drive. As part of future subdivision, consideration will need to ensure at least

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



two different vehicle accesses are available through all stages, and if required a temporary emergency access can be used to create a through way until the final road network is made.

- **Water:** It is understood that the proposed development within the site will be serviced by a permanent reticulated water supply, connected to Jurien Bay townsite.

Overall, this BHL demonstrates that the proposed urban land use within the site can achieve a 'moderate' or 'low' bushfire hazard rating and compliance with the bushfire protection criteria as the subdivision stages progress.

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Appendices

Appendix A

Structure Plan

List of Abbreviations

Table A1: Abbreviations – General terms

General terms	
AHD	Australian Height Datum
AS	Australian Standard
APZ	Asset Protection Zone
BAL	Bushfire Attack Level
BHL	Bushfire Hazard Level
BPAD	Bushfire Planning and Design
ESA	Environmentally sensitive area
FDI	Fire Danger Index
FZ	Flame Zone
TEC	Threatened ecological community

Table A2: Abbreviations – Organisations

Organisations	
DBCA	Department of Biodiversity, Conservation and Attractions
DWER	Department of Water and Environmental Regulation
DFES	Department of Fire and Emergency Services
DPLH	Department of Planning, Lands and Heritage
OBRM	Office of Bushfire Risk Management
WAPC	Western Australian Planning Commission

Table A3: Abbreviations – Legislation and policies

Legislation	
Guidelines	<i>Guidelines for Planning in Bushfire Prone Areas version 1.4</i> (DPLH & WAPC 2021)
SPP 3.7	State Planning Policy 3.7 Planning in Bushfire Prone Areas (WAPC 2015)

Table A4: Abbreviations – Planning and building terms

Planning and building terms	
LPS	Local Planning Scheme
NCC	National Construction Code

Table A4: Abbreviations – units of measurement

Units of measurement	
cm	Centimetre
ha	Hectare
m	Metre
m ²	square metre
m AHD	m in relation to the Australian height datum

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



1 Introduction

1.1 Background

Ardross Estates Pty Ltd (the proponent) is renewing the Turquoise Coast Development Structure Plan located within the Shire of Dandaragan. It encompasses various landholdings and is approximately 2000 ha in size and is generally bounded by the Jurien Bay townsite to the north, Hill River to the south, the Indian Ocean to the west and Indian Ocean Drive to the east and is herein referred to as 'the site'. The site is shown in **Figure 1**.

The Turquoise Coast Development Structure Plan (herein referred to as 'the SP'), provided in **Appendix A**, was approved in 2003 with subsequent development plans approved over the area in the proceeding years. Development in the northern portion of the site is progressing in accordance with the current SP. The SP captures a vision for future development in Jurien Bay and is part of a tiered planning approach, in which more detailed proposals will be guided by this overarching structure plan.

The site is designated a 'bushfire prone area' under the state-wide *Map of Bush Fire Prone Areas* prepared by the Office of Bushfire Risk Management (OBRM 2021) as shown in **Plate 1** below. The identification of a site within an area declared as bushfire prone necessitates further assessment of the determined bushfire risk affecting the site in accordance with *Australian Standard 3959:2018 Construction of buildings in bushfire prone areas* (AS 3959), and the satisfactory compliance of the proposal with the policy measures described in *State Planning Policy 3.7 Planning in Bushfire Prone Areas* (SPP 3.7) (WAPC 2015) and the *Guidelines for Planning in Bushfire Prone Areas Version 1.4* (the Guidelines) (DPLH & WAPC 2021). The existing structure plan was approved prior to SPP 3.7 and the Guidelines coming into effect.

The policy intent of SPP 3.7 is to preserve life and reduce the impact of bushfires on property and infrastructure through effective risk-based land use planning. Importantly, it is risk-based, requiring a methodical approach to identify and evaluate the hazards and provide the treatments to ameliorate these hazards to an acceptable level. SPP 3.7 requires that the determining authority give consideration to the precautionary principle (clause 6.11 in SPP 3.7), and it must be satisfied that the potential for significant adverse impacts can be adequately reduced or managed. In particular:

*SPP 3.7 does not require that there be no increase at all in the threat of bushfire to people property or infrastructure. Rather, as is seen in clause 2 of SPP 3.7, the intention of the policy is 'to 'implement effective, risk based land use planning and development to preserve life and **reduce the impact of bushfire on property and infrastructure**'. (emphasis added)¹*

¹ Harmanis Holdings No. 2 Pty Ltd and Western Australian Planning Commission [2019] WASAT 43 (Harmanis).

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan

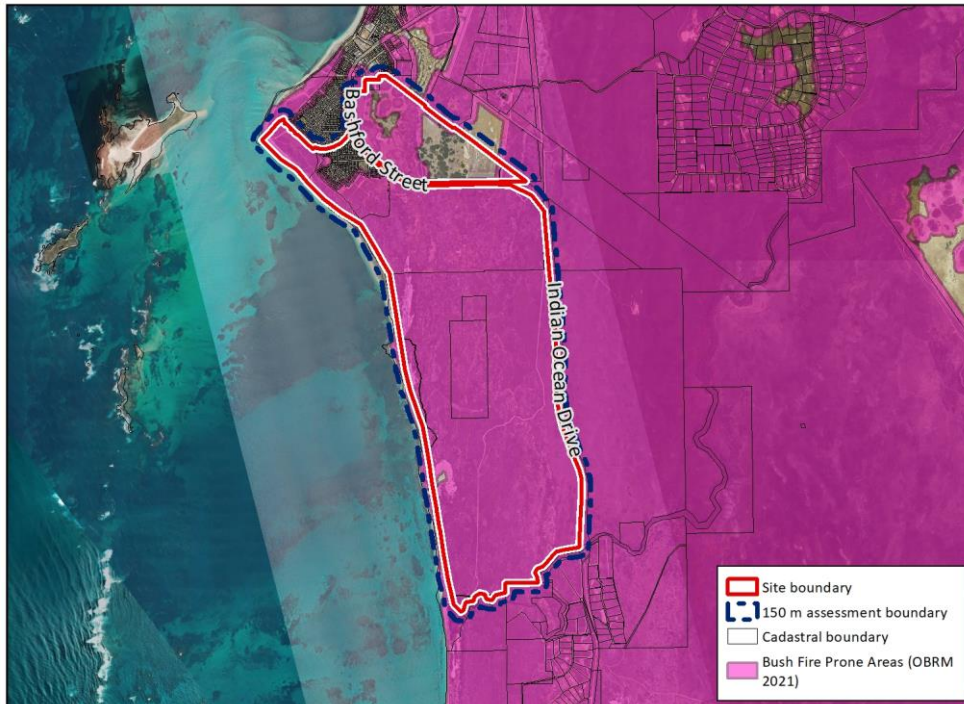


Plate 1: Areas within and surrounding the site identified as 'bushfire prone areas' (as indicated in purple) under the state-wide Map of Bush Fire Prone Areas (OBRM 2021).

1.2 Aim of this report

The purpose of this bushfire hazard level (BHL) assessment is to assess bushfire hazards both within the site and nearby and demonstrate that the threat posed by any identified hazards can be appropriately mitigated and managed. This BHL assessment has been prepared to support the SP for the site and addresses the requirements of SPP 3.7 policy measure 6.3, which sets out the information to be provided to support strategic planning proposals. This BMP includes:

- An outline of the environmental considerations relevant to the site (**Section 1**).
- An assessment of the existing classified vegetation within 150 m of the site and associated bushfire hazard level ratings (**Section 3**).
- Identification of any bushfire hazard issues (**Section 4**)
- Assessment of the proposed future urban development against the bushfire protection criteria outlined within the Guidelines (**Section 5**).
- An outline of the roles and responsibilities associated with implementing this BHL (**Section 6**).

1.3 Statutory policy and framework

The following key legislation, policies and guidelines are relevant to the preparation of a bushfire hazard level assessment:

- *Bush Fires Act 1954*
- *Fire and Emergency Services Act 1998*
- *Planning and Development Act 2005* and associated regulations
- *State Planning Policy 3.7 Planning in Bushfire Prone Areas (WAPC 2015)*

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



- *Guidelines for Planning in Bushfire Prone Areas Version 1.4* (DPLH & WAPC 2021)
- *Australian Standard AS 3959 – 2018 Construction of buildings in bushfire prone areas* (Standards Australia 2018)

1.4 Description of the proposed development

The site will be developed for a combination of urban, recreational, conservation and tourism purposes. The proposed development was referred by the proponent to the Environmental Protection Authority (EPA) under Section 16(j) of the *Environmental Protection Act 1986*. The SP responds to the EPA advice, including proposing land for conservation purposes to protect relevant environmental values.

The approved structure plan is consistent with the Shire of Dandaragan's *Local Planning Strategy 2020*, which identifies the site and the associated land as reserved for 'Future residential' land uses with portions identified as 'conservation' and 'open space' reserves. The majority of the site is zoned 'Special development' under the Shire of Dandaragan *Local Planning Scheme No.7* (LPS No. 7), with the western coastal boundary zoned 'parks and recreation', associated with the foreshore area.

The following future land uses are proposed within the site as shown on the SP (see Appendix A):

- Urban and residential areas of mixed density
- Neighbourhood centres
- Industrial and commercial areas
- Future high school and primary schools
- Conservation reserves, proposed to protect and retain existing native vegetation
- Open space areas, providing connections to the coastal foreshore
- An integrated public road network connecting to Indian Ocean Drive.

1.5 Description of land characteristics

A review of publicly available historical aerial imagery indicates that the site has remained largely unchanged since at least 2000, except for the area that has already been developed for urban purposes in the northern portion of the site. An area in the northern portion of the site also appears to have previously been cleared for rural or agricultural purposes but has since regrown with native vegetation.

This northern portion of the site abuts the existing Jurien Bay townsite. A foreshore area is located immediately to the west of the site, between the site and the Indian Ocean and contains the Turquoise Way Trail which is a 14 km sealed bicycle path between Jurien Bay and Hill River. Indian Ocean Drive is located immediately to the east, and is a major regional connector for the area, joining Brand Highway in the north and the Perth metropolitan region in the south.

Topography within the site is variable based on the dune features across the site and has been shown in **Figure 1**. These dune features will be modified as development progresses and could influence setbacks from bushfire hazards.

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2 Environmental Considerations

In accordance with the *Bushfire Management Plan – BHL Assessment* template prepared by the Department of Planning, Lands and Heritage (DPLH), this BHL assessment has considered whether there are any environmental values that may require specific consideration through either protection, retention, or revegetation. To support this, a review of publicly available databases has been undertaken, with particular reference to the Shared Location Information Platform (SLIP) databases and site-specific investigations as well as advice provided by the EPA.

A summary of the search results has been provided in **Table 1**.

Table 1: Summary of potential environmental considerations that may be associated with the site.

Key environmental feature (information in brackets refers to mapping data source)	Yes / no / potentially occurring within the site	If yes / potentially, describe value that may be impacted
Conservation category wetlands and buffer (Geomorphic wetlands, Cervantes coastal (DBCA-014))	Yes	Based on available mapping, a number of wetland features have been identified within the site, including conservation category and multiple use. The environmental investigations to support the structure plan identified numerous wetlands, of which seven of the wetlands are in the Quindalup Dunes near the coast, six are near the Hill River estuary, and five are in the beach ridge plain in the northern portion of the site. A number of these wetlands are identified as 'conservation category' and were identified for retention in the structure plan, in accordance with EPA advice. within the conservation reserve. The key wetland feature for retention and its buffer is accommodated in the structure plan (see Appendix A).
Waterways (DWER-031)	Yes	There is one major non-perennial watercourse, Hill River, which occurs along the southern boundary of the site. A conservation reserve has been provided between areas of development and the waterway feature.
RAMSAR wetlands (DBCA-010)	No	Not applicable.
Threatened and priority flora (DBCA-036) (DWER)	Yes	As part of the structure plan process, a flora and vegetation survey was undertaken by Trudgen (1996, as cited in (EPA 2001)), where a number of vegetation communities were identified but, the available information did not identify threatened or priority flora. A further desktop analysis of publicly available government information did not indicate the presence of any threatened or priority flora species within the site or in the immediate vicinity. Flora and vegetation investigations across the site undertaken by Trudgen (1996, as cited in (EPA 2001)) found that three confirmed priority flora species occur across the site, with the potential for more species to exist. A further desktop analysis of publicly available government information did not indicate the presence of any threatened flora species within the site or in the immediate vicinity. Large areas of the site are proposed to be retained as conservation reserve and will protect flora and vegetation values. No management of these areas is assumed for the purposes of this BMP.

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Table 1: Summary of potential environmental considerations that may be associated with the site. (continued)

Key environmental feature (information in brackets refers to mapping data source)	Yes / no / potentially occurring within the site	If yes / potentially, describe value that may be impacted
Threatened and priority fauna (DBCA-037) (DWER)	Yes	Surveys undertaken by ATA Environmental (2000 as cited in (EPA 2001)) for the broader structure plan area indicated that a number of priority 4 vertebrate fauna species may be present in small numbers in the area. Further analysis of publicly available government information and data did not indicate the presence of any threatened or priority fauna within the site or in the immediate vicinity. As outlined, large areas of the site are proposed to be retained as conservation reserve and will protect fauna habitat values. No management of these areas is assumed for the purposes of this BMP.
Threatened Ecological Communities (TECs) (DBCA-038) (DWER)	Yes	A desktop review of publicly available data indicates there is no known presence of threatened ecological communities within or in the immediate vicinity of the site.
Bush Forever areas (DPLH-019)	No	Not applicable. The site is located outside the Perth metropolitan region.
Clearing regulations – Environmentally Sensitive Areas (ESAs) (DWER-046)	No	Not applicable. No environmentally sensitive areas (ESA's) are identified within the site or nearby.
DBCA controlled lands or waters (DBCA-011)	No	Not applicable. No DBCA controlled lands or waters are identified within the site.
Swan Bioplan Regionally Significant Natural Areas 2010 (DWER-070)	No	Not applicable. The site is located outside the Swan Bioplan region.

2.1 Native vegetation – modification and clearing

Large portions of the site are proposed to be retained within conservation reserve and are assumed to remain as classified vegetation and a bushfire hazard. 'Open space' areas are also proposed, and for the purposes of this BHL assessment have been assumed to also remain in their current condition and be a bushfire hazard. It is possible these areas could be subject to management in the future to achieve low threat, but this can be considered at subsequent planning stages. The remainder of the site (e.g. all the development type zones, as shown in **Appendix A**) will be converted to low threat residential areas, which will include lots, public roads, and potentially additional public open space.

Future bushfire management will require native vegetation clearing within the site to be undertaken (works) to achieve compliance with the siting and access requirements of the Guidelines. The required works will be associated with clearing or modification to establish:

- Future lots;
- Public roads;
- Managed portions of the POS areas (where proposed).
- Asset protection zones (APZs), particularly in any balance land owned by the proponent that is outside the stage of development, to manage temporary hazards resulting in unnecessary bushfire attack level (BAL) ratings until development progresses (where outside the conservation reserves).

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It is anticipated that the majority of clearing will be implemented following a subdivision approval under the *Planning and Development Act 2005*. Where clearing of native vegetation is undertaken in accordance with a subdivision approval, it is exempt from requiring a clearing permit under Schedule 6 of the *Environmental Protection Act 1986* (EP Act), even when identified within an ESA. This is because the considerations are taken into account at the subdivision approval process. Additionally, a clearing permit will not be required where other exemptions exist pursuant to the *Environmental Protection Act 1986*, such as Section 33 of the *Bush Fires Act 1954*, or the Environmental Protection (Clearing of Native Vegetation) Regulations 2004 (where outside an ESA), such as those associated with a building licence.

2.2 Revegetation and landscape plans

As outlined, for the purpose of this BHL assessment, the proposed conservation reserves and open space areas will remain the same vegetation classification as the current assessment, which is predominantly a 'scrub' classification (discussed further below). No management of these areas is assumed as part of the BHL assessment.

There are no detailed plans indicating areas to be managed to a low threat condition in accordance with Section 2.2.3.2 of AS 3959 within the site at this stage of strategic planning. Areas designed as part of future planning stages to achieve a low threat condition will require ongoing management such as:

- Irrigation of grass and garden beds (where achievable and where required).
- Regular removal of weeds and built-up dead material (such as fallen branches, leaf litter etc.)
- Low pruning of trees (branches below 2 m in height removed where appropriate).
- Application of ground/surface covers such as mulch or non-flammable materials as required.
- Regular mowing/slashing of grass to less than 100 mm in height.

The future landscaping of the site will be confirmed as part of the subsequent land use planning stages (e.g. subdivision and development). Therefore, bushfire classifications may change in future subdivision stages, and further bushfire assessments will need to be undertaken to support these planning processes.

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3 Bushfire Assessment Results

3.1 Bushfire hazard level assessment

To support the structure plan and future amendments, bushfire hazard levels within and near the site have been determined in accordance with Appendix Two of the Guidelines and based on the vegetation classification detailed in **Table 2**. The BHL assessment for the site has considered the existing (pre-development) vegetation and the assumed post-development vegetation in accordance with the relevant land uses proposed under the SP.

The BHL can be used to determine the suitability of a strategic planning proposal for future development based on the proposed outlined land uses. In accordance with the Guidelines, a BAL assessment has not been undertaken as part of this assessment, however, will need to be undertaken as part of future detailed planning when the future development/lot layout is known.

3.2 Assessment inputs

Assessing bushfire hazards takes into account the vegetation classifications and exclusions within the site and surrounding area for a minimum of 150m, in accordance with AS 3959 and the Guidelines. The assignment of vegetation classifications is based on an assessment of vegetation structure, which includes consideration of the various fuel layers of different vegetation types. For example, fuel layers in a typical forest environment can be categorised into five segments as illustrated in **Plate 2** below. These defined fuel layers are considered when determining the classification of vegetation in accordance with AS 3959 and associated bushfire hazard levels.

Assessing bushfire hazards considers the vegetation classifications and exclusions within the site and surrounding area for a minimum of 100 m, in accordance with AS 3959 and the Guidelines.

All vegetation within 150m of the site was classified in accordance with Clause 2.2.3 of AS 3959.

Not all vegetation is a classified bushfire risk. Vegetation and ground surfaces that are exempt from classification as a potential hazard are identified as a low threat under Section 2.2.3.2 of AS 3959.

Low threat vegetation includes the following:

- a) *Vegetation of any type that is more than 100 m from the site.*
- b) *Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified.*
- c) *Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified.*
- d) *Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified.*
- e) *Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings, and rocky outcrops.*
- f) *Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves, and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana*

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plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.

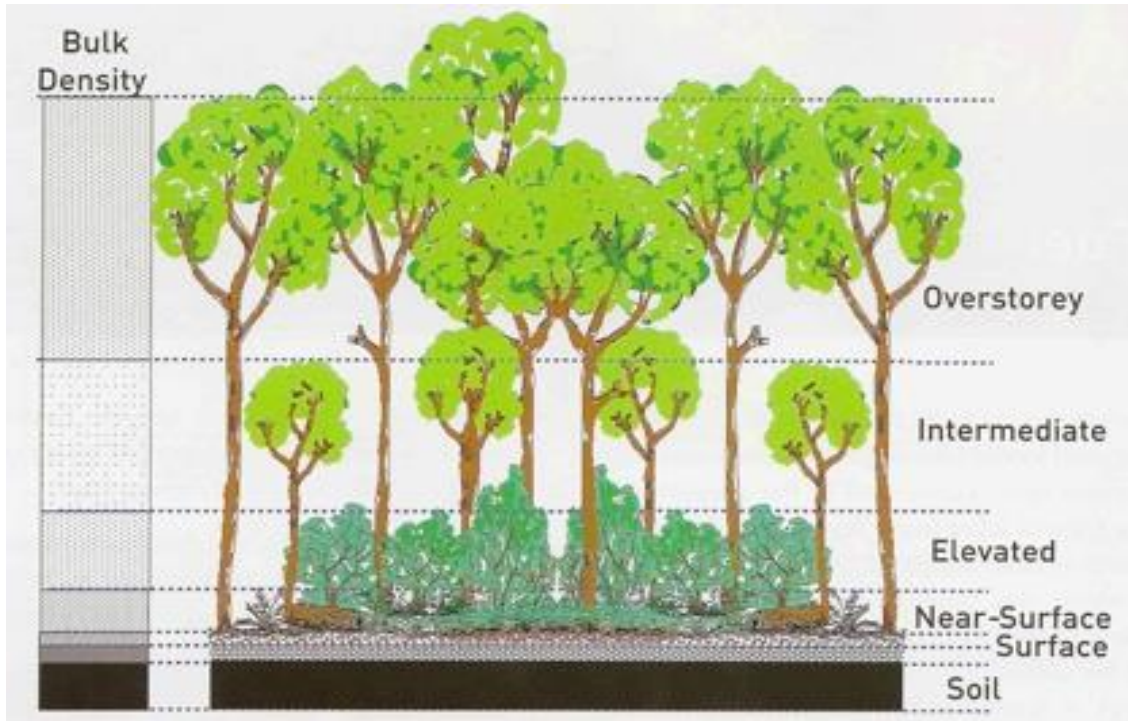


Plate 2: The five fuel layers in a forest environment that could be associated with fire behaviour (Gould et al. 2007)

An assessment of existing vegetation within the site and surrounding 150 m was undertaken on 20 November 2023 in accordance with AS 3959 and the Guidelines. **Table 2** summarises the results of the assessment and the associated pre-development hazard level with the results shown in **Figure 2** and **Figure 3** respectively.

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**)

Photo ID:	1	Plot:	1	 <p>-30°38'36", 115°06'17", -27.7m, 78° 21 Nov 2023 10:10:58</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Forest (Class A) - Extreme hazard level				
Description / Justification for Classification				
<p>Forest vegetation has been identified in the southern portion of the site. This forest vegetation comprises mature trees growing to a height of approximately 10 -15 m in height, with a greater than 30% foliage cover and a predominant under and mid-storey of shrubs and juvenile trees. This vegetation is located alongside the foreshore of Hill-River, which is located along the southern boundary of the site. It will remain in the long-term.</p>				
Photo ID:	2	Plot:	1	 <p>-30°23'11", 115°3'23", -26.7m, 188° 21 Nov 2023 12:54:01 pm</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Forest (Class A) – Extreme hazard level				
Description / Justification for Classification				
<p>Forest vegetation has been identified in the southern portion of the site. This forest vegetation comprises mature trees growing to a height of approximately 10 -15 m in height, with a greater than 30% foliage cover and a predominant under and mid-storey of shrubs and juvenile trees. This vegetation is located alongside the foreshore of Hill-River, which is located along the southern boundary of the site. It will remain in the long-term.</p>				
Photo ID:	3	Plot:	1	 <p>-30°22'45", 115°4'30", -14.7m, 280° 21 Nov 2023 10:39:01 am</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Forest (Class A) - Extreme hazard level				
Description / Justification for Classification				
<p>Forest vegetation has been identified in the southern portion of the site. This forest vegetation comprises mature trees growing to a height of approximately 10 -15 m in height, with a greater than 30% foliage cover and a predominant under and mid-storey of shrubs and juvenile trees. This vegetation is located alongside the foreshore of Hill-River, which is located along the southern boundary of the site. It will remain in the long-term.</p>				

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**) (continued)

Photo ID:	4	Plot:	2	
Vegetation Classification or Exclusion Clause and Hazard Level				
Shrubland (Class C) - Moderate hazard level				
Description / Justification for Classification				
<p>Within the coastal foreshore reserve to the north west of the site, as well as within the site, vegetation between 1-2 m in height with a high foliage density has been identified and classified as shrubland (Class C). This vegetation is characteristic of the entire coastal foreshore area.</p>				
Photo ID:	5	Plot:	2	
Vegetation Classification or Exclusion Clause and Hazard Level				
Shrubland (Class C) - Moderate hazard level				
Description / Justification for Classification				
<p>Within the coastal foreshore reserve to the west of the site, and within the site, vegetation between 1-2 m in height with a high foliage density has been identified and classified as shrubland (Class C). This vegetation is characteristic of the entire coastal foreshore area.</p>				
Photo ID:	6	Plot:	2	
Vegetation Classification or Exclusion Clause and Hazard Level				
Shrubland (Class C) - Moderate hazard level				
Description / Justification for Classification				
<p>Within the coastal foreshore reserve to the north west of the site, and within the site, vegetation between 1-2 m in height with a high foliage density has been identified and classified as shrubland (Class C). This shrubland vegetation is characteristic of the entire coastal foreshore area.</p>				

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**) (continued)

Photo ID:	7	Plot:	5	
Vegetation Classification or Exclusion Clause and Hazard Level				
Scrub (Class D) - Extreme hazard level				
Description / Justification for Classification				
<p>The majority of the site is comprised of scrub (Class D) vegetation. This vegetation is between 2 and 4 m in height with a greater than 30% foliage cover.</p>				
Photo ID:	8	Plot:	3	
Vegetation Classification or Exclusion Clause and Hazard Level				
Scrub (Class D) - Extreme hazard level				
Description / Justification for Classification				
<p>The majority of the site is comprised of scrub (Class D) vegetation. This vegetation is between 2 and 4 m in height with a greater than 30% foliage cover.</p>				
Photo ID:	9	Plot:	5	
Vegetation Classification or Exclusion Clause and Hazard Level				
Scrub (Class D) - Extreme hazard level				
Description / Justification for Classification				
<p>Scrub (Class D) vegetation has been identified to the east of the site. This vegetation comprises shrubs growing to a height of approximately 2 -4 m in height, with a greater than 30% foliage cover. This vegetation is assumed to remain the same in the post development scenario of the site.</p>				

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**) (continued)

Photo ID:	10	Plot:	3	
Vegetation Classification or Exclusion Clause and Hazard Level				
Scrub (Class D) – Extreme hazard level				
Description / Justification for Classification				
<p>Scrub (Class D) vegetation has been identified in the northern portion of the site. This vegetation comprises shrubs growing to a height of approximately 2 -4 m in height, with a greater than 30% foliage cover. The vegetation observed across the site is fairly consistent from north to south.</p>				
Photo ID:	11	Plot:	6	
Vegetation Classification or Exclusion Clause and Hazard Level				
Grassland (Class G) - Moderate hazard level				
Description / Justification for Classification				
<p>Grassland (Class G) vegetation occurs within the north-eastern portion of the site. This vegetation is characterised by unmanaged pasture grasses of various densities and height but generally more than 100 mm. This area has been cleared for at least the last 20 years and has not been subject to regrowth.</p>				
Photo ID:	12	Plot:	6	
Vegetation Classification or Exclusion Clause and Hazard Level				
Grassland (Class G) - Moderate hazard level				
Description / Justification for Classification				
<p>Grassland (Class G) vegetation occurs within the northern portion of the site. This grassland is characterised by unmanaged pasture grasses of various densities and height but generally growing to a height of more than 100 mm.</p>				

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**) (continued)

Photo ID:	13	Plot:	8	 <p>-30°19'13", 115°1'54", -23.8m, 339° 21 Nov 2023 12:35:50 pm</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Exclusion (e) non-vegetated area – Low hazard Level				
Description / Justification for Classification				
Existing urban areas within the northern portion of the site and further north within the existing developed portions of the Jurien Bay townsite, composed of roads and buildings (and managed gardens) have been excluded as non-vegetated (clause 2.2.3.2 (e)).				
Photo ID:	14	Plot:	7	 <p>-30°19'15", 115°2'22", -29.5m, 288° 21 Nov 2023 12:37:19 pm</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Exclusion (e) - Non-vegetated area – Low hazard Level				
Description / Justification for Classification				
Existing road reserves (road pavement and cleared shoulders) have been excluded as non-vegetated (clause 2.2.3.2 (e)) adjacent to the eastern boundary of the site, associated with Indian Ocean Drive.				
Photo ID:	15	Plot:	8	 <p>-30°18'20", 115°2'27", -25.6m, 289° 21 Nov 2023 11:10:44 am</p>
Vegetation Classification or Exclusion Clause and Hazard Level				
Exclusion (f) Low threat vegetation – Low hazard rating				
Description / Justification for Classification				
Non-vegetated areas (residential housing) and low threat vegetation within well managed gardens, verges and streetscapes north of the site have been excluded in accordance with clause 2.2.3.2 (f) of AS 3959.				

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Table 2: AS 3959 vegetation classification and associated hazard level rating (refer to **Figure 2** and **Figure 3**) (continued)

Photo ID:	16	Plot:	9	
Vegetation Classification or Exclusion Clause and Hazard Level				
Exclusion (f) Low threat vegetation – Low hazard rating				
Description / Justification for Classification				
Well managed turf and gardens within the area of public open space to the north east of the site have been excluded in accordance with clause 2.2.3.2 (f) of AS 3959.				

3.3 Assessment outputs

3.3.1 Classified vegetation

The following classified vegetation was identified within the site and the 150 m assessment area, as illustrated in **Figure 2**:

- Forest (Class A) vegetation within the southern portion of the site adjacent to Hill River and comprises mature trees and dense bushland.
- Shrubland (Class C) vegetation adjacent to the western boundary of the site, associated with the coastal foreshore reserve and areas of conservation reserve proposed within the site. This vegetation is between 1-2 m in height with a high foliage density and is characteristic of a narrow band of vegetation that interfaces with the ocean along the coastline.
- Scrub (Class D) vegetation associated with the conservation reserves proposed throughout the site, as well as east of Indian Ocean Drive. The majority of the site is comprised of scrub vegetation but will be removed as part of development progressing. This vegetation comprises shrubs growing to a height of approximately 2 -4 m in height, with a greater than 30% foliage cover.
- Grassland (Class G) vegetation, associated with cleared unmanaged land to the north-east. The grass cover varies in density and height but generally grows to a height of more than 100 mm.

Development in accordance with the structure plan will result in significant modification to the existing vegetation within the site. Large areas of vegetation will be removed or modified, however, forest, scrub and shrubland vegetation associated with the conservation reserves and open space areas throughout the site will remain in the long-term. No ongoing management of fuel loads is assumed in these areas. The post-development vegetation classifications based on the above scenario are shown in **Figure 4**.

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3.3.2 Topography

Publicly available topographical contours (Landgate 2023) indicate that the site has slopes to varying topography ranging from low points of 2m AHD metres to the west, with 26m AHD to the east, with varying dune topography throughout the site, as shown **Figure 1**.

Much of the dune topography will be modified as part of implementing future development. The effective slope has not been determined, however, in accordance with Section 2.2.5 of AS 3959, the slope within the 150 m assessment area is generally considered to be flat/upslope. On this basis, no vegetation within the site or nearby occurs on land exceeding an effective slope of flat/upslope and therefore does not need to be assigned an extreme BHL for exceeding 10 degrees.

3.3.3 Bushfire hazard level

The outcomes of the BHL assessment indicate that based on the existing conditions, much of the site is currently subject to an 'extreme' bushfire hazard level, associated with scrub vegetation. This is shown in **Figure 3**.

Following development of the site, and as discussed above, the majority of the vegetation within the site outside the conservation reserves and open space areas will be removed or modified and no longer be a bushfire hazard. The BHL ratings for the post-development scenario have been determined in accordance with Appendix Two of the Guidelines and are shown in **Figure 5**. It shows that large portions of the site will be subject to low or moderate bushfire hazard levels. Extreme bushfire hazard will still apply to the conservation reserves and open space areas.

In order to assist with the future design process, and in particular locating habitable buildings an appropriate distance from classified vegetation that is likely to be located around the perimeter of the site and associated with conservation reserves and open space areas, the minimum setback distances required to achieve a BAL rating of BAL-29 have been provided in **Table 3**. An effective slope has been assigned for the purpose of generating a setback distance in accordance with AS 3959 based on a review of the topographic contours and is based on a general consideration of the likely slope where vegetation is proposed to be retained or will remain in the long-term. This can be further refined at subdivision.

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Table 3: Setback distances based on vegetation classification and effective slope and Table 2.5 of AS 3959, as determined by the method 1 BAL assessment

Vegetation classification	Plot number	Effective slope	Bushfire hazard level	Minimum setback to achieve BAL-29.
Forest (Class A)	Plot 1	Flat/upslope	Extreme	21 m
Forest (Class A)	Plot 1	Downslope 0-5	Extreme	27 m
Shrubland (Class C)	Plot 2	Flat/upslope	Moderate	9 m
Shrubland (Class C)	Plot 2	Downslope 0-5	Moderate	10 m
Scrub (Class D)	Plot 3, Plot 4 and Plot 5	Flat/upslope	Extreme	13 m
Scrub (Class D)	Plot 3, Plot 4 and Plot 5	Downslope 0-5	Extreme	15 m
Grassland (Class G)	Plot 6	Flat/upslope	Moderate	8 m

Areas of retained vegetation presenting an extreme or moderate risk will require provisions as part of subdivision and detailed design to ensure development can comply with the bushfire compliance criteria, as set out in Appendix Four of the Guidelines. These provisions may include strategic use of public roads, managed public open space and/or in-lot setbacks to ensure dwellings can achieve BAL-29, with the development areas within the site suitably sized to accommodate any such requirements.

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4 Identification of Bushfire Hazard Issues

From a bushfire hazard management perspective, based on the requirements of SPP 3.7 and the Guidelines, the key issues that are likely to require management and/or consideration as part of the future development of the site include:

- Provision of appropriate separation distance from bushfire hazards to ensure a BAL rating of BAL-29 or less can be achieved at habitable buildings (built form). This will be particularly relevant where the conservation reserve and open space areas are located in proximity to development areas and for the design to provide appropriate separation e.g. use of a perimeter road.
- Ensuring that site access is designed, constructed and managed to ensure safe access and egress for fire fighting vehicles and occupants. This includes provision for multiple access routes to/from the site and should be for each stage of development.
- Ensuring that managed public open space areas (where agreed) and site landscaping is designed, implemented and managed to achieve low threat standards to reduce the risk of fires starting onsite. Where low threat vegetation is not proposed, this is considered as part of future BAL assessments and spatial layout.
- Ensuring that the provision of water for firefighting is sufficient and accessible by firefighting services.
- The potential for vulnerable or high-risk land uses within the site.

These issues are considered further in **Section 5**.

4.1 Permanent hazards

The majority of the site and surrounding 150 m comprises areas of various types of classified vegetation (forest and scrub predominantly), non-vegetated land (roads, existing residential areas) and low threat vegetation (public open space). In the post-development scenario, the primary hazards will be associated with classified forest vegetation to the south, associated with Hill River and the associated reserve, shrubland vegetation to the west associated with the foreshore area, and scrub vegetation associated with the proposed conservation reserves and open space areas. This is in consideration of the SP provided in **Appendix A**.

Classified vegetation within and surrounding the site that is anticipated to remain in a post-development scenario is shown in **Figure 4**.

4.2 Temporary/manageable hazards

As discussed in **Section 3.3**, large portions of the classified vegetation within the site (shown in **Figure 2**) have been assumed to be removed/modified as part of development in accordance with the SP and future urban/residential development with the post-development scenario shown in **Figure 4**. As part of staged development within the site, the proponent will likely need to manage (clear vegetation, manage cleared areas in a low fuel state until the land use is permanently changed)

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future stages of development to ensure separation distances to bushfire hazards can be minimised or as a minimum ensure habitable buildings can achieve BAL-29 or less.

4.3 Vulnerable or high risk land use

The definition of a vulnerable land use is where occupants are less able to respond in an emergency. The types of land uses considered vulnerable include *“facilities that, due to the building design or use, or the number of people accommodated, are likely to present evacuation challenges.”* The identification of a land use as a vulnerable use is at the discretion of the decision maker.

A high-risk land use is one where practices that occur within the site may lead to a potential ignition and spread of a fire from the site or could prolong the duration or intensity of a bushfire should a fire arrive from outside the site.

The proposed schools within the site would be considered vulnerable land uses and will need to be addressed at future development stages, similarly for proposed tourism land uses. Subdivision would include provision for suitable separation and vehicle access with the subdivision layout, while development approval would be where the more detailed consideration of compliance with SPP 3.7 and the Guidelines occurs.

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5 Assessment Against the Bushfire Protection Criteria

This BHL assessment provides an outline of the mitigation strategies that will need to be considered as part of future development planning stages to ensure that an acceptable solution and/or performance-based system of control can be adopted for each of the bushfire protection criteria detailed within Appendix Four of the Guidelines. The applicable bushfire protection criteria identified in the Guidelines and addressed as part of this BHL are:

- Element 1: Location of the development
- Element 2: Siting and design of the development
- Element 3: Vehicular access
- Element 4: Water supply.

As part of future development, it is likely that an ‘acceptable solution’ will be able to address the intent of all four bushfire protection criteria as part of future subdivision of the site. A summary of how this can be achieved and an associated compliance statement for each has been provided in **Table 4**.

Table 4: Assessment against the bushfire protection criteria from the Guidelines

Bushfire protection criteria	Proposed bushfire management strategies
Element 1: Location	
A1.1 Development location	The site has a moderate to extreme bushfire hazard level rating based on current conditions (see Figure 2). This will be reduced to a moderate to low bushfire hazard level rating at completion based on the development approach outlined by the SP (see Appendix A). This is on the basis that vegetation in the development areas will be removed and/or managed to a low threat standard (in accordance with Section 2.2.3.2 of AS 3959). Much of the site will have a ‘moderate’ or ‘low’ bushfire hazard level rating based on the anticipated post-development conditions, shown in Figure 5 . Therefore development can be located in low or moderate hazard level, satisfying A1.1. The proposed conservation reserves and open space areas will maintain the current ‘extreme’ hazard rating. Due to the size of the site and the majority of the site comprising ‘low’ or ‘moderate’ bushfire hazard level, it will be possible for future habitable buildings to be located to achieve BAL-29 or less, assisted by the position of public roads and managed public open space, compliant with A1.1.
Element 2: Siting and design	
A2.1 Asset Protection Zone	The site is suitably sized to accommodate the minimum separation distances outlined in Table 3 (or as assessed in the future) required to achieve BAL-29 or less for future habitable buildings from classified vegetation within and surrounding the site. As future detailed design and planning is being undertaken for subdivision, the requirements for asset protection zone (APZs) (if any) can be determined. It is noted that large areas of vegetation will be retained within the site in accordance with the SP. As part of future detailed planning, consideration should be given to these areas of vegetation, and the spatial provisions that may be required to provide appropriate setbacks, including the provision of public roads, public open space, and in-lot setbacks (if required). The acceptable solution A2.1 can be satisfied.

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



Table 4: Assessment against the bushfire protection criteria from the Guidelines (continued)

Bushfire protection criteria	Proposed bushfire management strategies
Element 3: Vehicular access	
A3.1 Public roads	Existing public roads within the site and surrounding the site comply with the minimum standards outlined in Appendix Four of the Guidelines (provided in Plate 3). New public roads within the site as part of future development will also need to comply with these requirements, or as agreed with the Shire of Dandaragan.
A3.2a Multiple access routes	<p>The site interfaces with an existing road network, including public roads to the north and Indian Ocean Drive to the east. Indian Ocean Drive provides access to Jurien Bay townsite in the north and other towns and the Perth metropolitan region in the south. The SP proposes a future full-movement road network that will connect with the existing Indian Ocean Drive at multiple points, as well as the existing development to the north. This is shown in Appendix A. As part of the future planning stages, it will be possible to accommodate at least two egress routes via an interconnected internal network that adjoins the existing and future public network. Staging of development will need to consider how two accesses are achieved until development is fully progressed in accordance with the structure plan, which is likely to be over an extended period of time.</p> <p>Future development would be able to comply with and meet the intent of A3.2a.</p>
A3.2b Emergency access way	The future road layout within the site will be designed as part of future planning stages. Given the development will be able to provide egress to two different destinations (as discussed in A3.1), it is unlikely an emergency access way (EAW) will be required. If any emergency access ways (including temporary EAWs as part of staged development) they should comply with the requirements of the Guidelines, or as agreed with approval authorities.
A3.3 Through-roads	The future road layout within the site will be designed as part of future planning stages. No-through roads are unlikely to be required. If any no-through roads are proposed, they will need to be compliant with the requirements of the Guidelines.
A3.4a Perimeter roads	The future road layout within the site will be designed as part of future planning stages. Perimeter roads should be located between proposed lots and classified vegetation (excluding grassland) and should meet the standards outlined in the Guidelines.
A3.4b Fire service access route	The future road layout within the site will be designed as part of future planning stages. Fire service access routes (FSARs) are an alternative where a perimeter road will not be provided. If any FSARs are proposed in the future, they should comply with the requirements of the Guidelines.
A3.5 Battle-axe access legs	The future road layout within the site will be designed as part of future planning stages. Battle-axe legs should typically be avoided but may be utilised to overcome specific site or design constraints created by the existing road networks or lot layout. Battle-axe legs should meet the requirements outlined in the Guidelines.
A3.6 Private driveways	The future road and lot layout within the site will be designed as part of future planning stages. Given the proposition SP is supporting predominantly residential/urban type development, it is likely all private driveways will be associated with a lot serviced by reticulated water, will likely be less than 70 m in length and accessed by a public road that has a speed limit of 70km/h or less. If these requirements are not met then private driveways must meet the requirements outlined within the Guidelines.

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



Table 4: Assessment against the bushfire protection criteria from the Guidelines (continued)

Bushfire protection criteria	Proposed bushfire management strategies
Element 4: Water	
A4.1 Reticulated areas	<p>The site will connect to the existing Jurien Bay reticulated water supply network, and water supply will be available for fire-fighting in accordance with the water supply authority requirements. Fire hydrants on land zoned for urban purposes are generally required to be sited within 200 m of dwellings (Class 1a).</p> <p>The proposal can comply with A4.1</p>
A4.2 Provision of water for firefighting purposes	<p>Not applicable at this stage of the process. The site will eventually connect to the reticulated water supply network and provision for hydrants will be accommodated as part of this process. Future development would be able to comply with and meet the intent of Element 4: Water.</p>

Table 6: Vehicular access technical requirements

TECHNICAL REQUIREMENTS	1 Public roads	2 Emergency access way ¹	3 Fire service access route ¹	4 Battle-axe and private driveways ²
Minimum trafficable surface (metres)	In accordance with A3.1	6	6	4
Minimum horizontal clearance (metres)	N/A	6	6	6
Minimum vertical clearance (metres)	4.5			
Minimum weight capacity (tonnes)	15			
Maximum grade unsealed road ³	As outlined in the IPWEA Subdivision Guidelines	1:10 (10%)		
Maximum grade sealed road ³		1:7 (14.3%)		
Maximum average grade sealed road		1:10 (10%)		
Minimum inner radius of road curves (metres)		8.5		

Notes:

¹ To have crossfalls between 3 and 6%.

² Where driveways and battle-axe legs are not required to comply with the widths in A3.5 or A3.6, they are to comply with the Residential Design Codes and Development Control Policy 2.2 Residential Subdivision.

³ Dips must have no more than a 1 in 8 (12.5% -7.1 degree) entry and exit angle.

Plate 3: Excerpt of Table 6 from The Guidelines

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



5.1 Additional management strategies

5.1.1 Future approval considerations

This BHL has been prepared for the site to demonstrate that the bushfire hazard level rating applicable to the site in a post-development scenario will be moderate or low, and that best management practices can be adopted through future planning and implementation stages to ameliorate the bushfire hazards that would otherwise impact upon its future development. All development areas are in a moderate or low bushfire hazard area.

A Bushfire Management Plan (BMP) will be required to support future subdivision and/or development for the site, to detail how the proposed development layout has or will address the bushfire protection criteria based on the recommendations outlined within this BHL, as well as to determine the likely BAL ratings applicable to the future habitable buildings.

5.1.2 Vulnerable or high-risk land uses

As outlined previously, there are potentially eight schools identified within the site considered to be a 'vulnerable' land use in accordance with the definitions provided in SPP 3.7 and the Guidelines. Policy measures 6.6 of SPP 3.7 does not require any further action in the consideration for vulnerable development, other than a moderate BHL and compliant access at the higher level of planning. Subsequent planning considerations at the development application will require further consideration of the bushfire risk if the vulnerable land use is exposed to a BAL rating of BAL-12.5 or greater, including a bushfire event management procedure described in a Bushfire Emergency Evacuation Plan (BEEP).

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure Plan



6 Responsibilities for Implementation and Management of Bushfire Measures

Subject to the renewal of the structure plan, development within the site for urban/residential type purposes will be implemented through subsequent subdivision applications.

Table 5 outlines the future considerations of the proponent (developer) associated with developing the site in accordance with the proposed structure plan with reference to future risk treatments to be accommodated as part of subdivision. This is a summary of the information discussed in **Section 5**.

Table 5: Responsibilities for the implementation of this BHL assessment as part of the future planning process

Management action		Timing
Developer/landowner		
1	Following renewal of the structure plan, develop a bushfire management plan (BMP) in accordance with SPP 3.7, and the Guidelines to support future subdivision where portions of the site are designated as bushfire prone areas under the <i>Map of Bush Fire Prone Areas</i> . This should be based on the proposed spatial layout of the development.	To support future subdivision.
3	Where applicable, as part of the subdivision process, make spatial provisions for: <ul style="list-style-type: none"> • A suitable public road network that provides egress to at least two different destinations and meets the technical requirements of Table 6 within Appendix Four of the Guidelines (or as otherwise determined by a bushfire consultant and relevant approval authority). This includes consideration for perimeter roads and requirements during staging of development (e.g. use of temporary emergency access ways and no through roads). • Where possible, avoid permanent no-through roads and battle-axe lots as part of the spatial layout. If these are proposed as part of future development, these will need to be well justified from a planning/development perspective and consistent with the minimum requirements outlined in Appendix Four of the Guidelines (or as otherwise determined by a bushfire consultant and relevant approval authority). • Ensure future habitable buildings are able to be located in an area subject to BAL-29 or less. Separation distances to achieve BAL-29 can be accommodated by locating public roads and/or managed public open space between the habitable building and classified vegetation and/or ensuring proposed development lots are adequately sized to ensure BAL-29 is not exceeded at the future habitable building. • A water supply dedicated to firefighting purposes in the form of a reticulated network of water hydrants. 	To support future structure planning and/or subdivision.
Shire of Dandaragan		
1	Ensure private landowners maintain vegetation in accordance with the Shire's annual Fire Hazard Reduction Notice and liaising with relevant stakeholders to maintain fuel loads at minimal/appropriate fuel levels, in accordance with the Shire's responsibilities under the <i>Bush Fires Act 1954</i> .	Ongoing, as required.
2	Maintain existing public road reserves to appropriate standards where required/applicable.	Ongoing, as required.

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



7 Applicant Declaration

7.1 Accreditation

This assessment has been prepared by Emerge Associates who have been providing bushfire risk management advice for more than 10 years, undertaking detailed bushfire assessments (and associated approvals) to support the land use development industry. Emerge Associates have a number of team members who have undertaken Bushfire Planning and Design (BPAD) Level 1 and Level 2 training and are Fire Protection Association of Australia (FPAA) accredited practitioners (or are progressing).

Anthony Rowe is a FPAA Level 3 BPAD accredited practitioner (BPAD No. 36690) in accordance with clause 6.12 of the Guidelines.

7.2 Declaration

I declare that the information provided is true and correct to the best of my knowledge.

Signature:

A handwritten signature in black ink, appearing to read "Anthony Rowe", written over a light grey dotted grid background.

Name: Anthony Rowe

Company: Envision Bushfire Protection/Emerge Associates

Date: 19/12/2023

BPAD Accreditation: Level 3 BPAD no. 36690

Bushfire Hazard Level Assessment

Turquoise Coast Development Structure PlanTurquoise Coast Development Structure Plan



8 References

Department of Planning, Lands and Heritage, and Western Australian Planning Commission, (DPLH & WAPC) 2021, *Guidelines for Planning in Bushfire Prone Areas Version 1.4*, Perth, Western Australia.

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Figures



Figure 1: Site Location and Topography

Figure 2: Pre-Development Site Conditions – AS 3959 Vegetation Classification

Figure 3: Pre-Development Bushfire Hazard Level Rating

Figure 4: Post-Development Site Conditions – AS 3959 Vegetation Classification

Figure 5: Post-Development Bushfire Hazard Level Rating

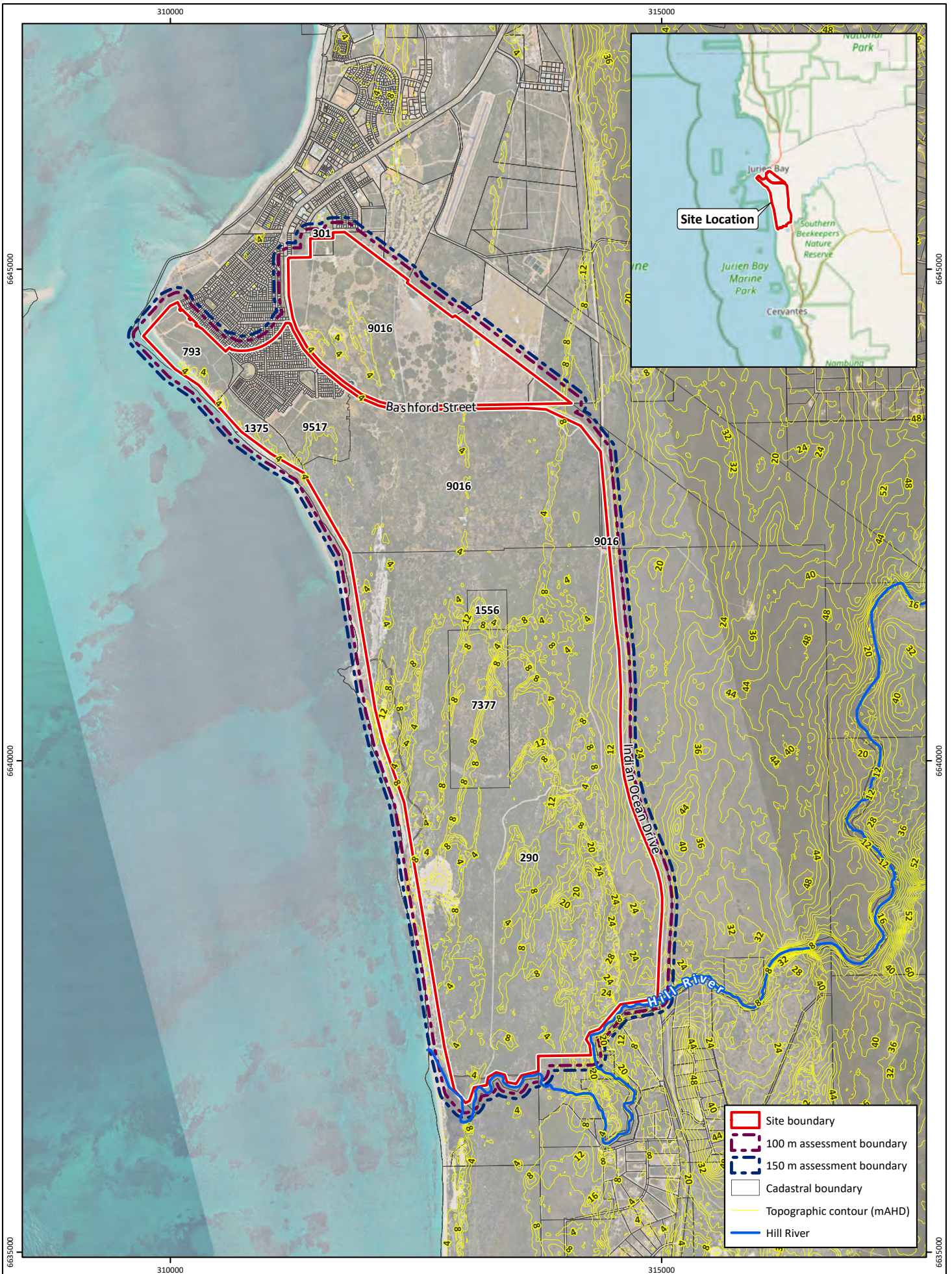


Figure 1: Site Location and Topography

Project: Bushfire Hazard Level Assessment
Turquoise Coast Structure Plan

Client: Ardross Estates Pty Ltd

Plan Number: EP22-038(03)-F12
Drawn: WJC
Date: 11/12/2023
Checked: SPL
Approved: KK
Date: 19/12/2023



0 500 1,000
Metres
Scale: 1:50,000@A4
GDA 1994 MGA Zone 50



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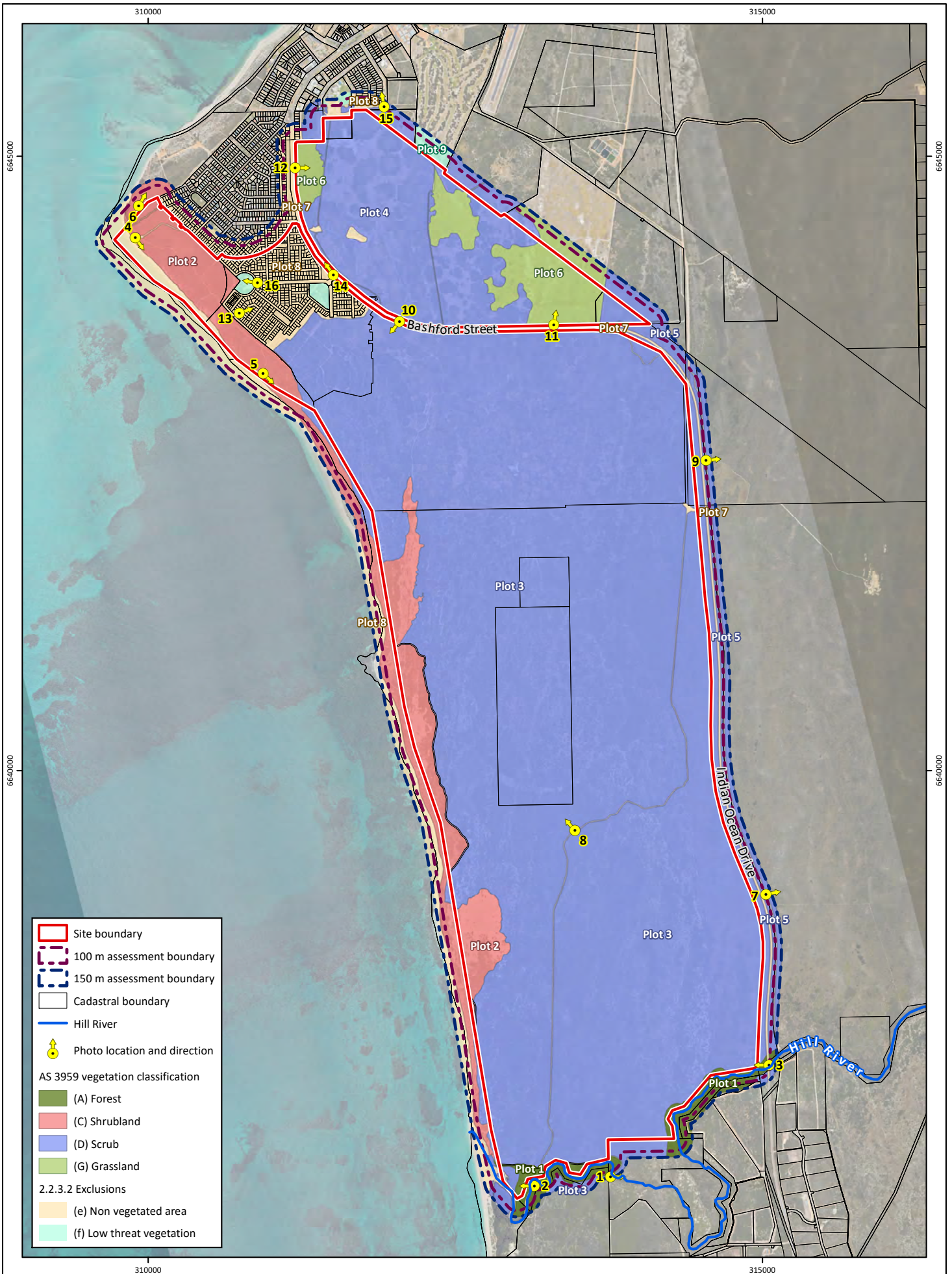
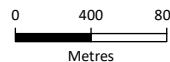


Figure 2: Pre-Development Site Conditions - AS 3959 Vegetation Classification

Project: Bushfire Hazard Level Assessment
Turquoise Coast Structure Plan
Client: Ardross Estates Pty Ltd

Plan Number: EP22-038(03)-F13
Drawn: WJC
Date: 11/12/2023
Checked: SPL
Approved: KK
Date: 19/12/2023



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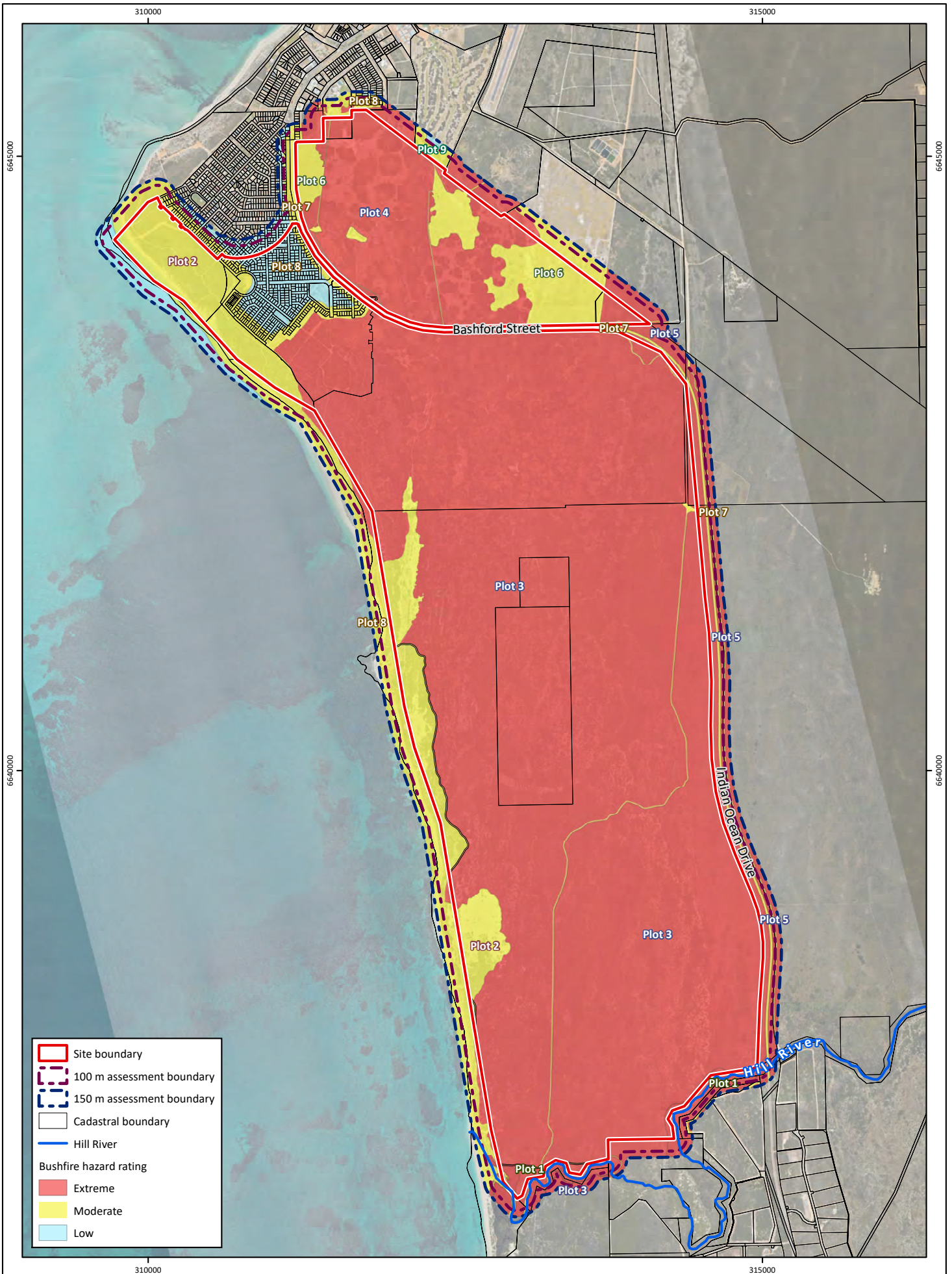


Figure 3: Pre-Development Bushfire Hazard Level Rating

Project: Bushfire Hazard Level Assessment
Turquoise Coast Structure Plan

Client: Ardross Estates Pty Ltd

Plan Number: EP22-038(03)--F14
Drawn: WJC
Date: 11/12/2023
Checked: SPL
Approved: KK
Date: 19/12/2023

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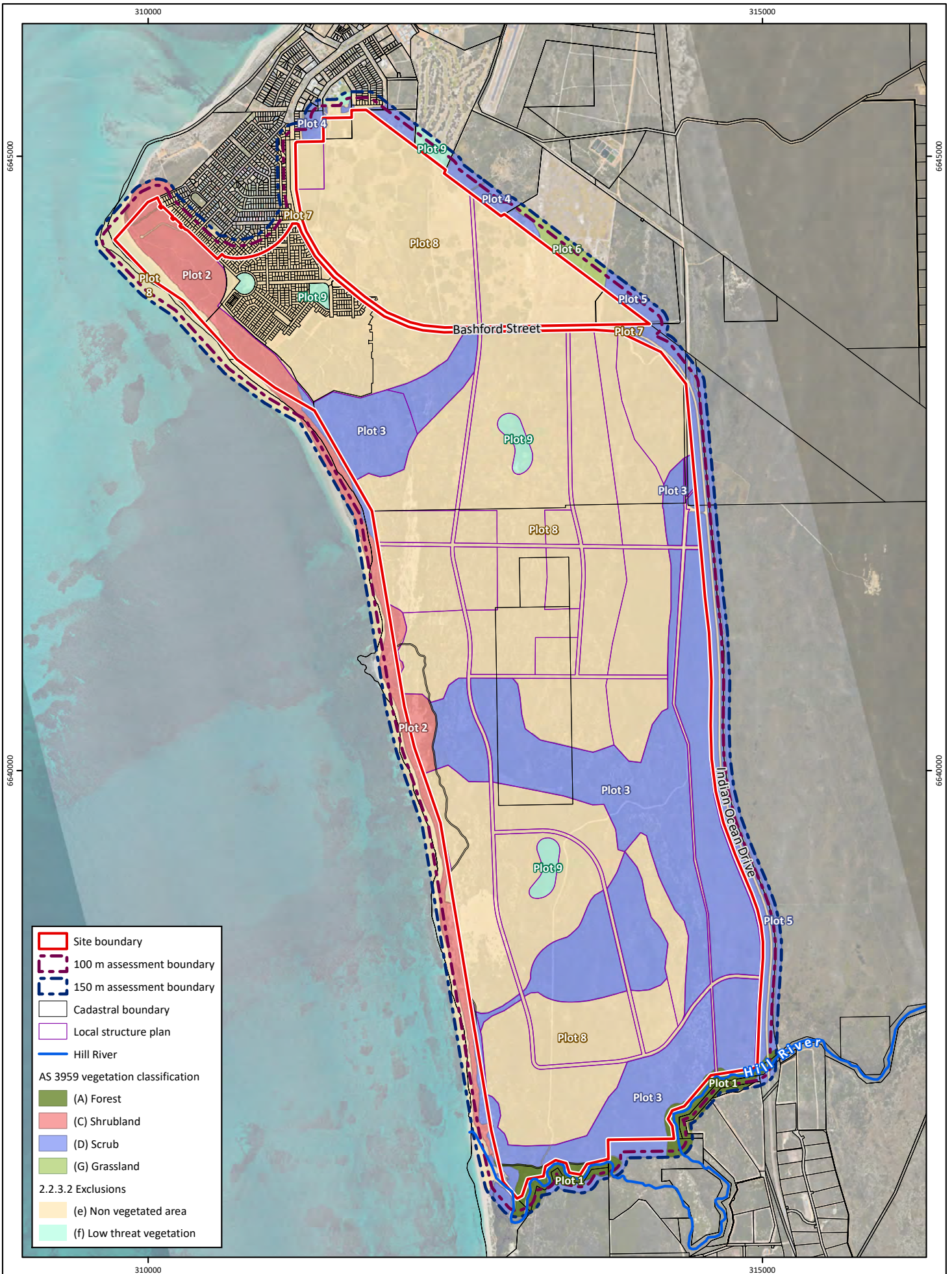


Figure 4: Post-Development Site Conditions - AS 3959 Vegetation Classification

Project: Bushfire Hazard Level Assessment
Turquoise Coast Structure Plan
Client: Ardross Estates Pty Ltd

Plan Number: EP22-038(03)-F15
Drawn: WJC
Date: 11/12/2023
Checked: SPL
Approved: KK
Date: 19/12/2023



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GDA 1994 MGA Zone 50



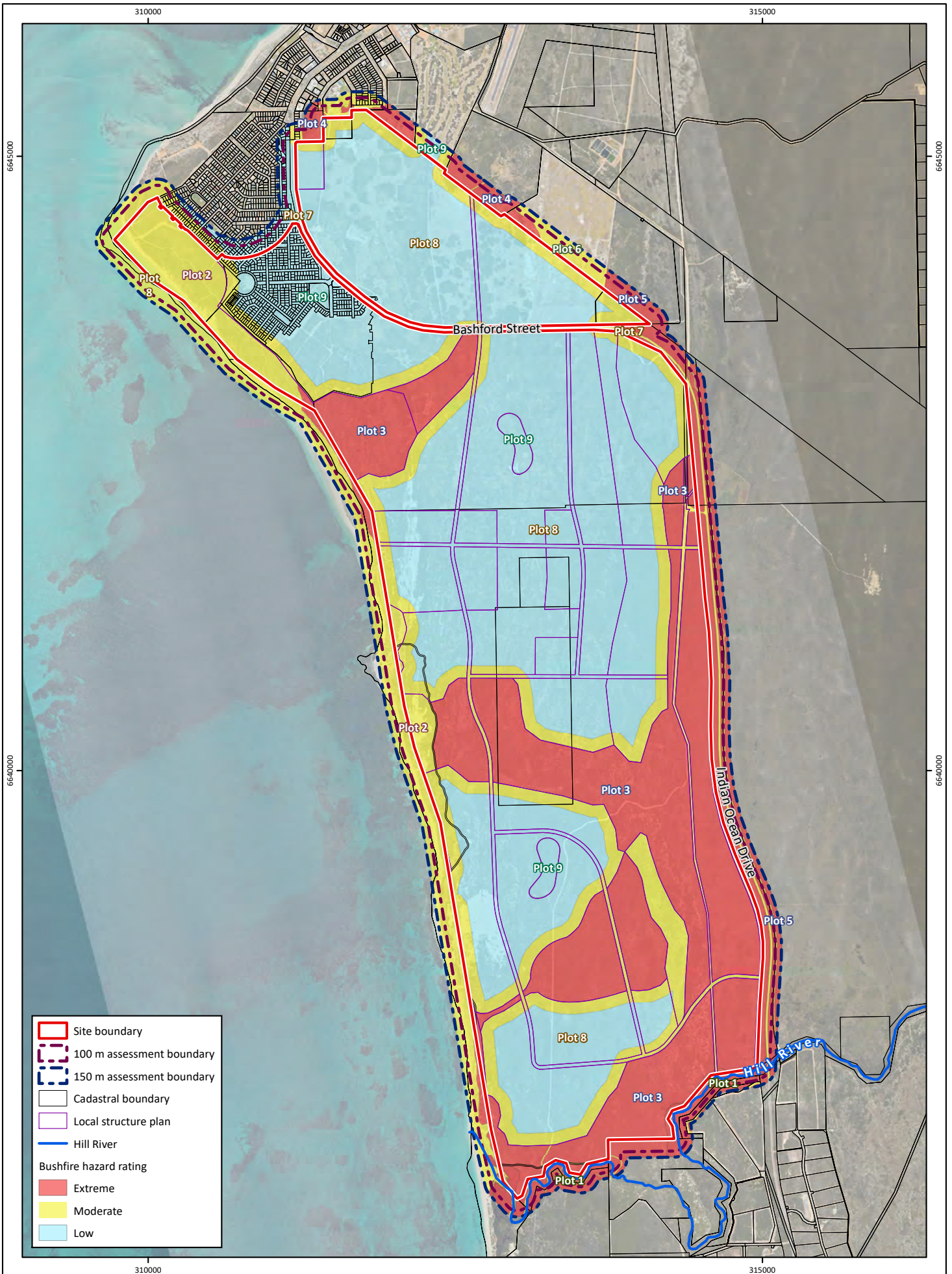
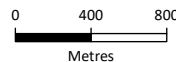


Figure 5: Post Development Bushfire Hazard Level Rating

Project: Bushfire Hazard Level Assessment
Turquoise Coast Structure Plan

Client: Ardross Estates Pty Ltd

Plan Number: EP22-038(03)-F16
Drawn: WJC
Date: 11/12/2023
Checked: SPL
Approved: KK
Date: 19/12/2023



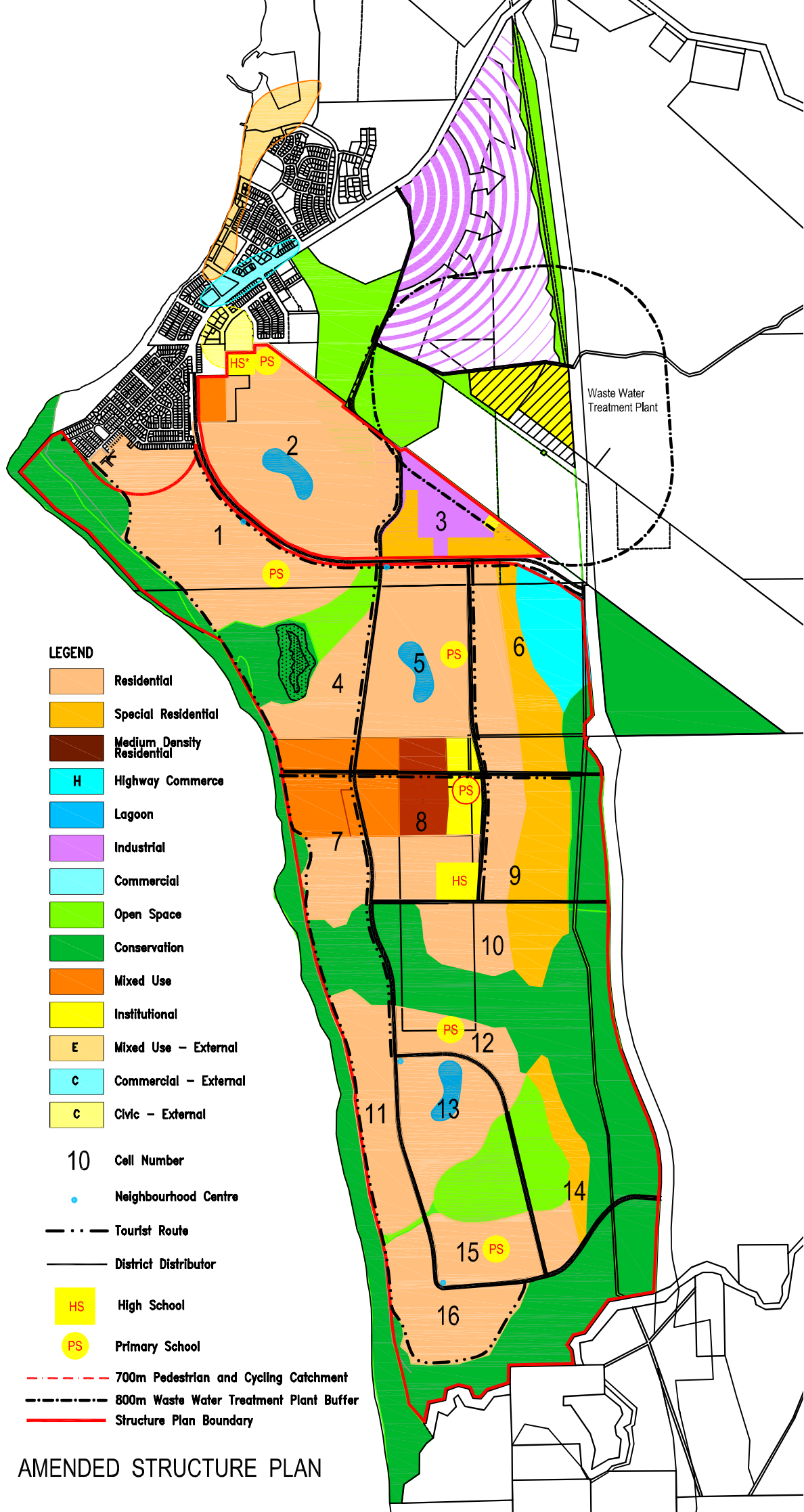
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GDA 1994 MGA Zone 50



Appendix A

Structure Plan





AMENDED STRUCTURE PLAN

TURQUOISE COAST DEVELOPMENT

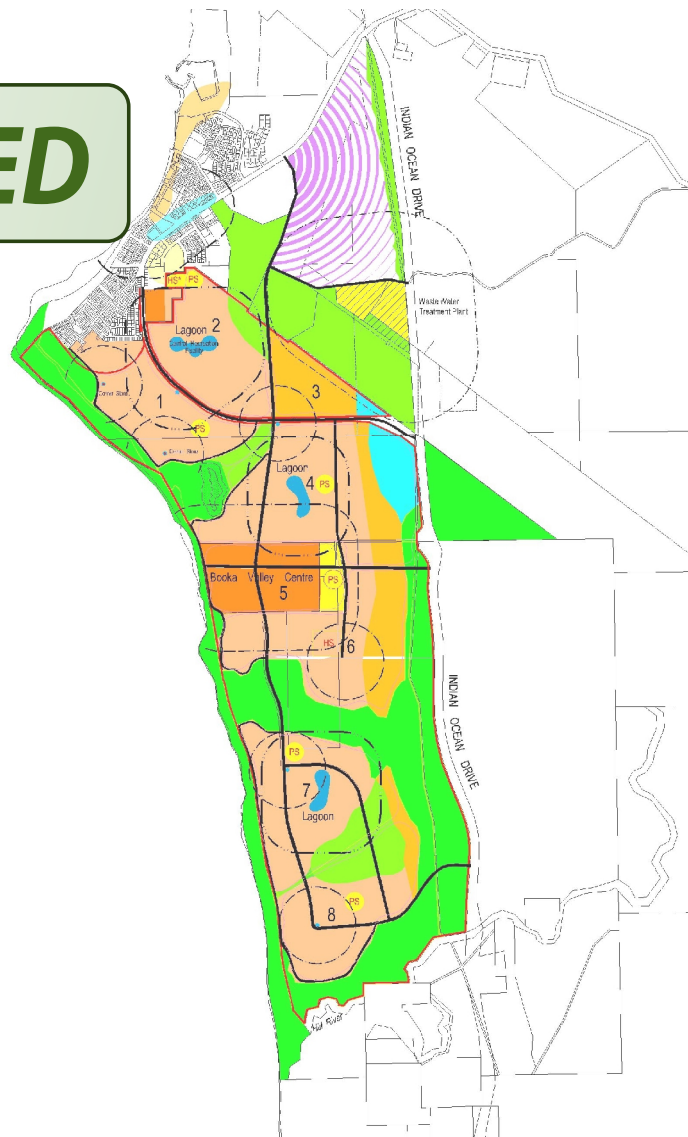
JURIEN BAY

Structure Plan

for ARDROSS ESTATES PTY LTD

NOVEMBER 2003

APPROVED



Prepared by:

MGA
TOWN PLANNERS

26 Mayfair Street,
West Perth WA 6005
Postal: PO Box 104,
West Perth WA 6872

Ph: 9321 3011
Fax: 9324 1961
Email: mga@global.net.au

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APPENDIX 1

APPENDIX 2

PREFACE

This vision for Jurien Bay is based upon its identification as the primary centre serving the Central Coast Region, an extensive region adjoining the Perth metropolitan area. As Perth grows, the Central Coast will be required to provide urban, employment, recreation and tourism opportunities for the growing population and visitors. The Turquoise Coast development at Jurien Bay is therefore pivotal to achieving these objectives.

Recent urban estates from Esperance to Kununurra, a distance of some 4,000km around the Western Australian coast bear a similarity based on urban design/planning policies and common practice. The Turquoise Coast development proposes to break this mould by recognising the importance of the natural landscape in characterising places. This Structure Plan therefore adopts the vision of creating a project which departs from conventional metropolitan styles of urbanisation in preference for nodes of development within a natural setting incorporating principles of environmental sustainability. This vision is to permeate through to the detailed, local design level to create new communities which are immediately recognisable as “Jurien Bay” and therefore distinct from any other urban area.

1. INTRODUCTION

This Structure Plan has been prepared on behalf of Ardross Estates Pty Ltd and applies to an area of approximately 2,000 ha stretching along the coast to the south of the Jurien Bay townsite and down to the Hill River. The Structure Plan is bordered on the east generally by the alignment of Indian Ocean Drive.

Figure 1 outlines the Structure Plan area.

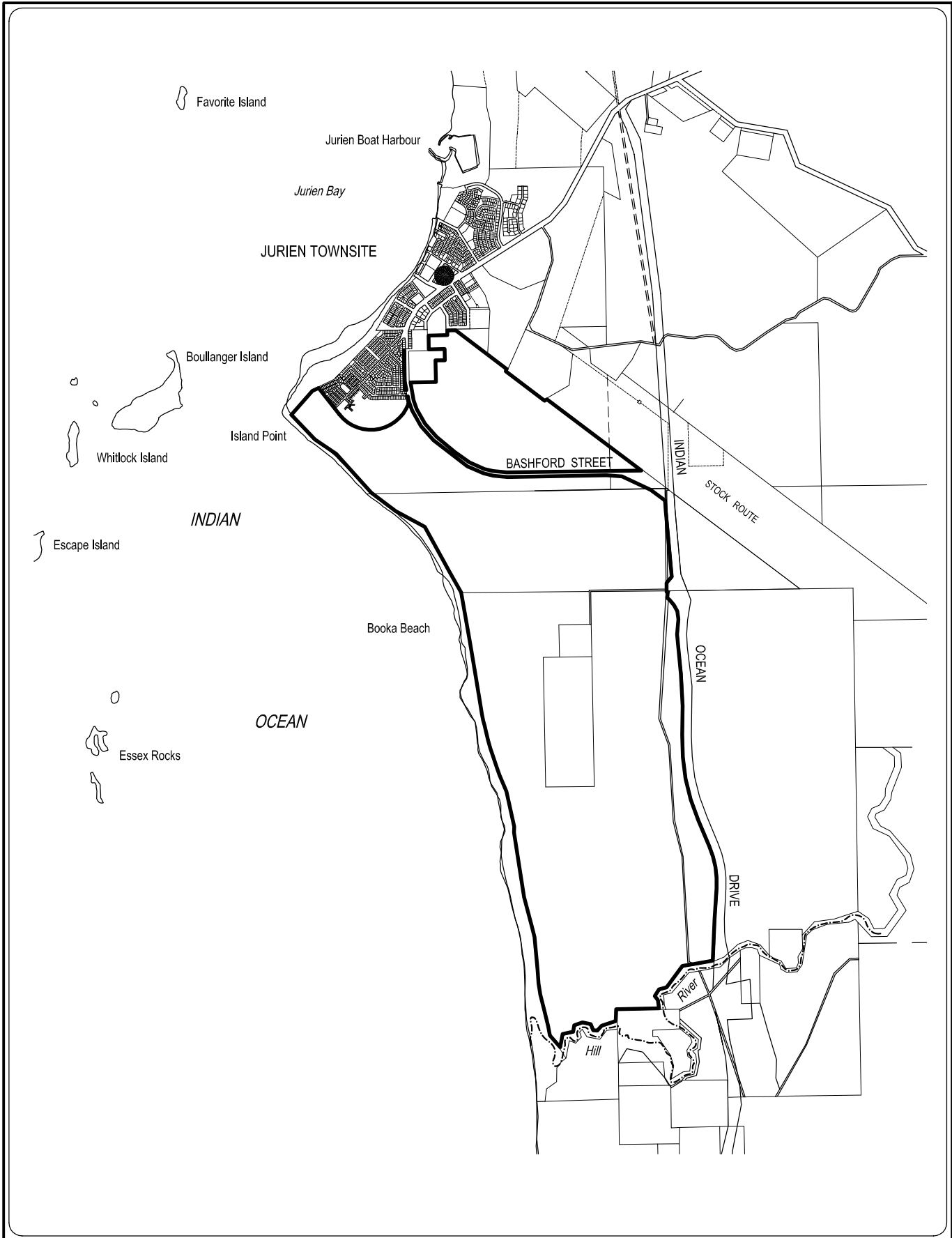
The Plan is the result of a consultative process involving a number of agencies including the:

- Shire of Dandaragan
- Department for Planning and Infrastructure
- Department of Environmental Protection and the Environmental Protection Authority
- Water & Rivers Commission
- Department of Conservation & Land Management including the Marine Conservation Branch
- Water Corporation
- Main Roads Western Australia
- Wheatbelt Development Commission
- WA Tourism Commission

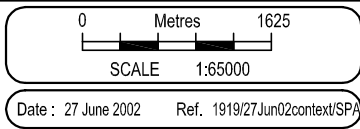
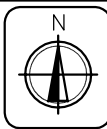
Additionally, the process has included the local community and their contribution is also gratefully acknowledged.

The consultant team on the project has included :

- MGA Town Planners
- ATA Environmental & Dr Alan Tingay – Environment
- Sinclair Knight Merz – Civil & Traffic Engineering
- MP Rogers & Associates – Coastal Engineering
- CSD Network – Community Consultation
- Jim Davies & Associates - Flood Studies
- McDonald Hales & Associates- Archaeology & Ethnography



Notes/Revisions



STRUCTURE PLAN AREA
JURIEN BAY
Figure 1

In addition the Water Corporation has contributed its advice in relation to the preparation of a total Water Management Plan for Jurien Bay.

2. BACKGROUND

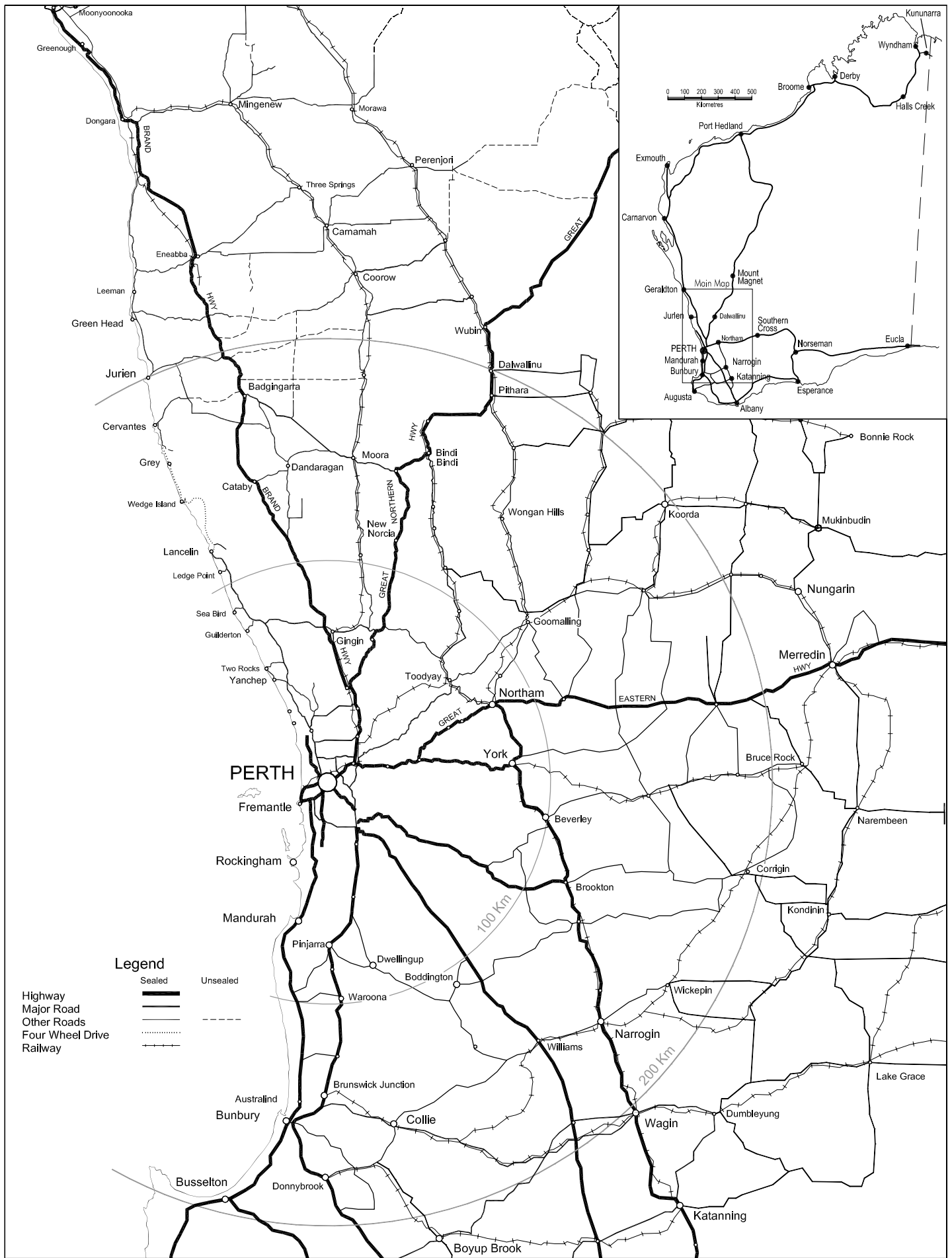
2.1 STATE CONTEXT

Jurien Bay is 200 kms north of central Perth 'as the crow flies'. Road access is, however, indirect and is facilitated by the Brand Highway some 50 kms inland from the coast. The indirect nature of this route results in Jurien Bay being some 280 kms by road from Perth. **Figure 2** places Jurien Bay into context in terms of its relationship to the State. A 200 kms arc is scribed around Perth, illustrating that Jurien Bay is the same distance north of the City as Busselton is to the south. Whereas, however, Jurien Bay is approximately 280 kms away by road, Busselton is only some 225 kms.

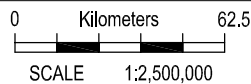
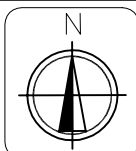
Better road connections to the south have in part resulted in the Busselton and Augusta/Margaret River region becoming the State's premier playground for holidaymakers.

There is, however, an argument to counter-balance the location of holiday targets by developing attractions to the north of the Metropolitan Region, particularly since a majority of the metropolitan population resides to the north of the River.

The area surrounding Jurien Bay is rich in attractions which could sustain holiday and tourist industries. Best known is the Pinnacles Desert within the Nambung National Park. The Pinnacles attract over 100,000 international visitors per annum, and is the site most visited by international tourists outside the Perth metropolitan area. It therefore eclipses the rugged coastal scenery, forests and wine-making region in the Cape Naturaliste to Cape Leeuwin region as a target of international tourism. Despite the high rate of visitation, there is little development within the Jurien Bay area to extend the length of stay beyond a day-trip and to economically benefit the local area. With improvements to road access, it is anticipated that the numbers of visitors to the Nambung National Park will increase from the current total of around 200,000 (including international visitors) to approximately 400,000.



Notes/Revisions



Date : 12 Oct. 2000 Ref. 1919statecontxt\Fig2

STATE CONTEXT MAP
JURIEN
Figure 2

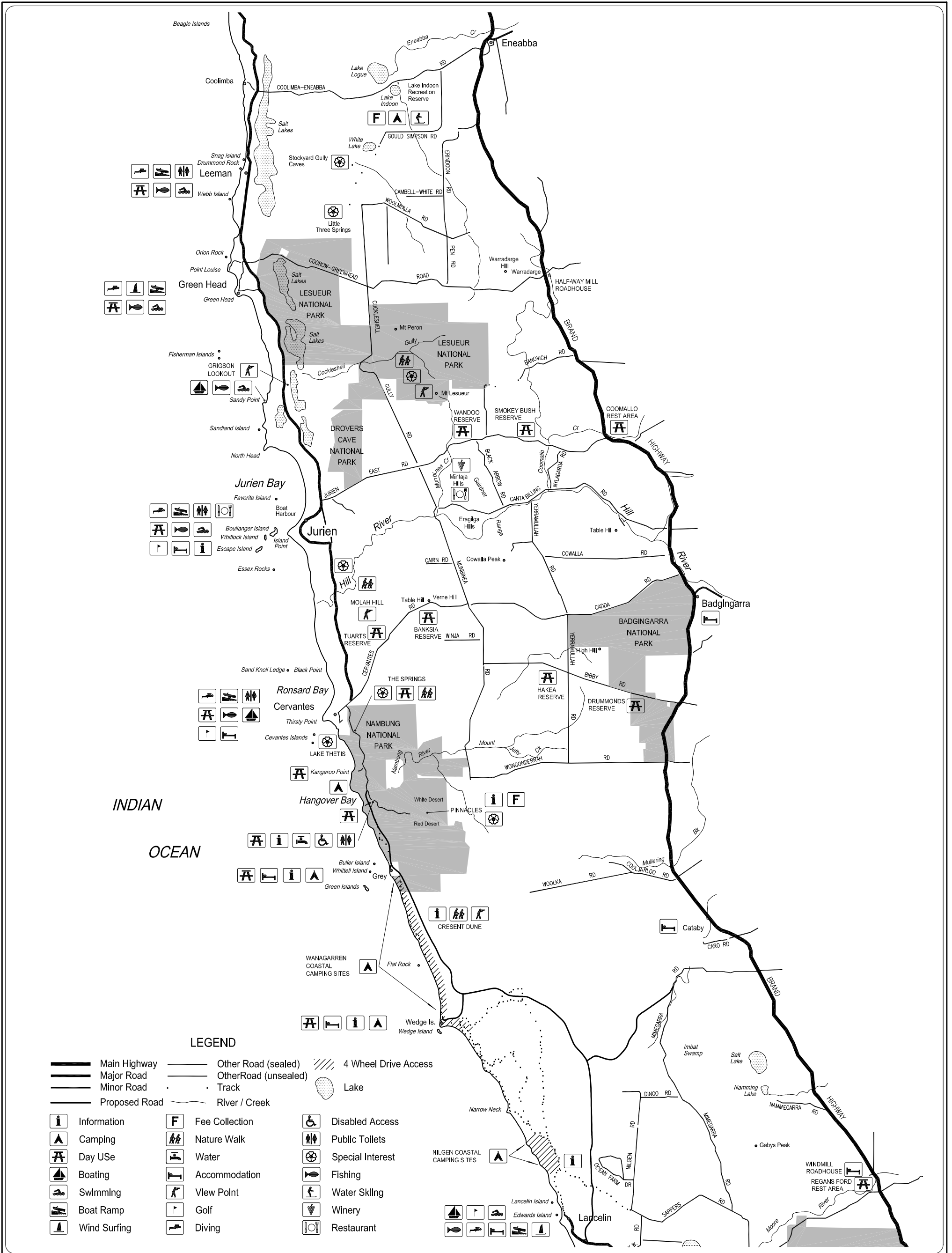
The area contains numerous other attractions which are little known and little developed. These are identified on **Figure 3** and include Lesueur National Park with its wildflowers, spectacular breakaways and wandoo forests. Also to the north of Jurien Bay is the Stockyard Gully National Park containing a cavernous tunnel some hundreds of metres in length, rivalling Tunnel Creek within the State's Kimberley Region. Offshore islands punctuate the coastal scenery providing a range of eco-tourist opportunities as well as quiet, protected beaches. Inter-connecting reefs between the islands create surfing breaks and protect in-shore waters from large, open ocean swells creating opportunities for boating, sailboarding, etc. Protected bays at Sandy Cape, Sandilands, and other indentations along the coast provide a variety of opportunities for holidaymakers and tourists.

Extensive limestone reef systems conspire with warm currents from the tropical north and cool currents from the temperate south to produce highly diverse and abundant marine life creating ideal diving conditions. The marine bio-diversity has resulted in the creation of a Marine National Park being initiated.

2.2 REGIONAL CONTEXT

The Central Coast Regional Strategy provides the regional context in which the Turquoise Coast proposal has developed. The Strategy represents a collaborative effort of local authorities within the region, including the Shires of Dandaragan, Carnamah, Coorow, Gingin and Irwin as well as the Wheatbelt Development Commission and State Government agencies including the Department for Planning and Infrastructure and the Department for Conservation & Land Management, Department of Environmental Protection, Department of Minerals & Energy and the Department of Land Administration.

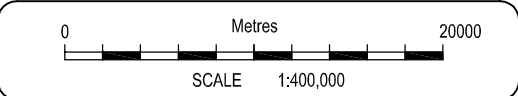
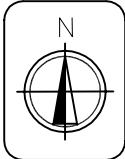
The Strategy was released for public comment in June 1994, and finalised in September 1996. In view of the breadth of community involvement through local authorities represented on the Steering Committee and extent of public consultation, it may be concluded that the Strategy represents the goals and aspirations of communities scattered through the region from the metropolitan area in the south to Dongara in the north.



LEGEND

- | | | | | | |
|--|---------------|--|-----------------------|--|----------------------|
| | Main Highway | | Other Road (sealed) | | 4 Wheel Drive Access |
| | Major Road | | Other Road (unsealed) | | Lake |
| | Minor Road | | Track | | River / Creek |
| | Proposed Road | | | | |
-
- | | | | | | |
|--|--------------|--|----------------|--|------------------|
| | Information | | Fee Collection | | Disabled Access |
| | Camping | | Nature Walk | | Public Toilets |
| | Day USE | | Water | | Special Interest |
| | Boating | | Accommodation | | Fishing |
| | Swimming | | View Point | | Water Skiing |
| | Boat Ramp | | Golf | | Winery |
| | Wind Surfing | | Diving | | Restaurant |

Notes/Revisions



Date : 28 June 2002 Ref No. 1919/tourism/fig3-T/fig3

JURIEN BAY DISTRICT TOURISM DEVELOPMENT PLAN
Figure 3

Figure 4 presents the Land Use Plan developed within the Central Coast Regional Strategy.

Key elements of the Plan include large areas of conservation land, particularly along the coast. It will be noted that there are few areas of non-conservation land on the coast over the length of the region. Land identified as rural land, and therefore not set aside for conservation purposes, exists to the south of Guilderton as well as at Breton Bay, a site nominated as being an area of possible industrial development. Further northwards the only substantial area of coastal frontage which is not identified for conservation purposes, is located south of the Jurien Bay townsite. This is the site of the proposed Turquoise Coast development.






















The Central Coast Regional Strategy recognises a hierarchy of settlements within the region, ranging from a district centre at the head of this hierarchy, to major local centres, potential centres, minor local centres and recreation and tourism nodes. It is significant that the townsite of Jurien Bay which is central to this region, has been nominated as the district centre for the region. The Strategy acknowledges that there is sufficient land for short term expansion to the east and north, and unlimited expansion potential to the south.

A further major element of the Central Coast Regional Strategy concerns the alignment of a coastal road from Lancelin in the south through to Green Head in the north. South of Lancelin, the extension of Wanneroo Road provides a connection to the metropolitan region, and to the north of Green Head the road is shown to be completed to Dongara.

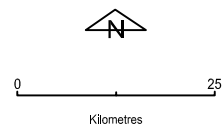
Since preparation of the Central Coast Regional Strategy, the coastal road has been constructed from Green Head through Jurien Bay to Cervantes, and exists for a distance of some 12 kms south of Cervantes to the Pinnacles Desert within the Nambung National Park. Only the link from Lancelin to Cervantes remains to be completed, and this work is scheduled to be undertaken by the end of 2005.

LAND USE PLAN

LEGEND

-  Study Boundary
-  Rural (Grazing)
-  Existing or Future Conservation
-  State Forest
-  Vacant Crown Land
-  Other Uses on Land Managed by Public Authorities
-  Townsite
-  Defence Training Area
-  Ocean
-  Potential Development Nodes
-  Industry
-  Aerodrome
-  Townsite
-  Heritage Trail
-  Indicative Alignment for Potential Heritage Trail
-  Primary Road
-  Secondary Road
-  Proposed Secondary Road
-  Preferred Coastal Road Alignment (indicative only)
-  Rural Landscape Amenity
-  Subject to further consideration and Review of Specific Options (including heavy industrial site development)

Note: The exact road alignment between Lancelin and Wedge Island is to be determined



Source : Department of Conservation and Land Management
Western Australia
: Department of Land Administration, Western Australia
: Agriculture, Western Australia

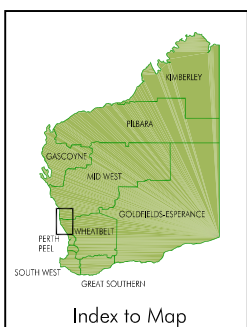
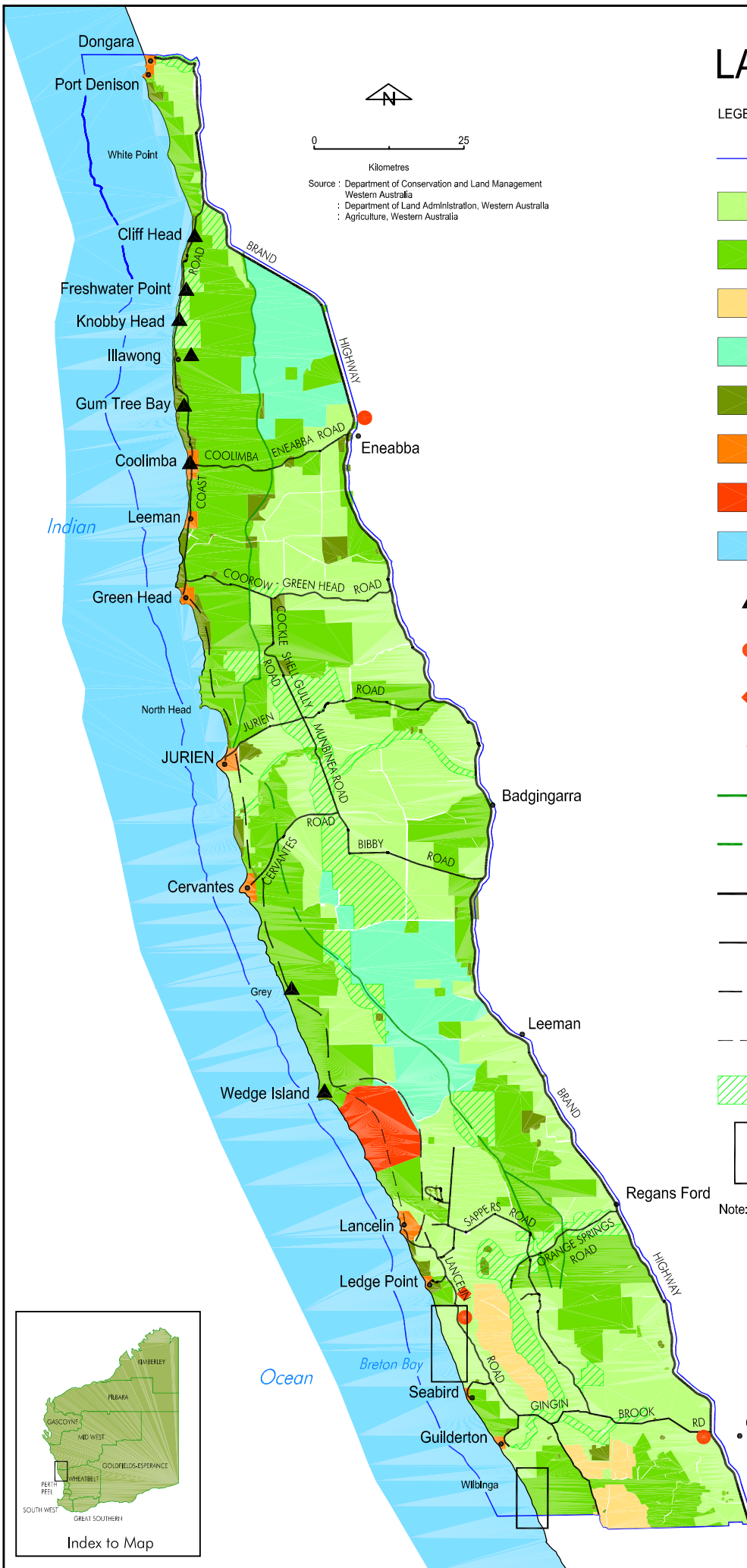


Figure 4
1919/Landuse-fig4

2.3 ZONING

The Structure Plan area is zoned "Special Development" under the Shire of Dandaragan's Town Planning Scheme No.6.

This zone does not create any particular land use provisions, and therefore contemplates a wide range of uses over the land. Land use and development patterns are to be determined through a tiered planning framework.

The first requirement under this framework involves the preparation and approval of a Structure Plan. The Structure Plan generally applies to the whole of the site and sets down the basic framework around which more detailed plans described as Development Plans are to be prepared on a neighbourhood-by-neighbourhood basis.

The third tier in the planning hierarchy concerns the preparation of Detailed Site Plans in instances where greater consideration and design control is considered appropriate.

The Scheme requires that a Structure Plan should establish the urban form for the development area in general terms, showing land use disposition and density, movement systems and services, as well as other matters which in the opinion of the Council are relevant to the orderly and proper planning of the estate. The detail required includes :

- (a) major transportation and movement systems;
- (b) a hierarchy of centres;
- (c) service commercial areas;
- (d) landscape protection areas;
- (e) major conservation and recreation areas;
- (f) proposals for sewerage, drainage and other physical infrastructure services; and
- (g) details derived from any ethnographic, heritage or cultural study conducted in relation to the estate.

This Structure Plan therefore addresses these requirements.

2.4 MEMORANDUM OF UNDERSTANDING

The Developers have entered a Memorandum of Understanding (MOU) with the Dandaragan Shire Council and the Western Australian Planning Commission, which also contains some guiding principles in relation to the estate's development in addition to the requirements contained under the Council's Town Planning Scheme.

The MOU contained a statement of objectives which included:

- (a) The facilitation of resort development at Jurien Bay, broadening the economy of the region, creating employment and general economic benefit to the community.
- (b) Proper provision for employment, not only in the hospitality industry but in primary, secondary and service industries which are established to serve the expanding population.
- (c) Proper planning for a growing population resulting from new employment opportunities and the general opening of the Central Coast Region as a consequence of the scheduled completion of Indian Ocean Drive.
- (d) Proper provision for the expansion of the townsite of Jurien Bay, including the setting aside of appropriate land requirements and the provision of necessary infrastructure.
- (e) The programming of the necessary engineering services.
- (f) The creation of viable communities with high degrees of self-sufficiency in terms of employment and social infrastructure.

The MOU also required the setting aside of appropriate reserves along the ocean foreshore, and in other areas as a consequence of environmental studies and in addition, the Developer is obliged to cooperate with the Water Corporation in the preparation of a water management plan.

A range of performance standards was also set under the MOU. These included :

- The Structure Plan should accommodate a target that by year 2020 average personal car trips not exceed 7.5 kms per trip.
- The provision of essential infrastructure shall be negotiated with servicing agencies in accordance with prevailing government policies.
- Planning for new residential areas should ensure that there is a high level of integration and connectivity to the existing community.
- An urban development infrastructure programme being prepared and agreed to by servicing agencies as part of the structure planning process, that includes the upgrading of facilities for the adequate provision of power, water and reticulated sewerage.
- Planning for a town centre to be robust to enable the function of the centre to evolve over time without the need for large areas or undeveloped land in the centre of town.
- Planning for the town centre and future neighbourhood centres to provide a high degree of accessibility for pedestrians, cyclists, as well as motorists through a permeable and inter-connected network of streets.
- The town centre and future neighbourhood centres must be located on local and district distributor streets in order to support and sustain retail and business viability.
- The future town centre to include civic areas and public space, which will be ceded to the Crown free of cost, and will be in addition to the 10% public open space requirement.

- Planning to include provision for services and facilities commensurate with the anticipated size and function of the Jurien Bay townsite. Facilities include, but are not limited to, police and emergency services, hospitals and medical centres, libraries, civic areas, community halls and meeting areas for social and sporting events, aged persons complexes and facilities.
- Increases in population should be directly proportional to the employment growth. The Structure Plan should accommodate a target of 1.4 jobs per household by including sufficient land and appropriate layout for business and related activities.
- Street networks are to be planned to facilitate a wide variety of business and home-business opportunities.
- The lot layout is to provide for a mix of lot sizes, and includes smaller residential lots and integrated medium density.
- Public open space is to be provided and located throughout the development to satisfy the need for playgrounds, local parks, active sporting areas and regional or district open spaces.
- The Structure Plan to provide for well-distributed public open space which will contribute to the legibility and character of the development, is cost-effective to maintain and contributes to on site infiltration of stormwater run-off.
- No further degradation occurring to wetlands or areas of high conservation value.
- The existing estuarine systems being recognised and protected during the planning and development of the site.

- There will be no reduction on the quality of underground water.
- Street networks being orientated east-west and north-south to promote efficient solar access and allow for cooling breezes.
- The Resort development site being connected to the future town centre by a major arterial road.
- Planning to include a boulevard or major road linking the proposed Resort development directly to the existing Jurien Bay townsite.
- Planning for the future Resort complex remote from the Jurien Bay townsite to include provision for convenient access for workers, tourists and the delivery of services to and from the Jurien Bay townsite.
- Planning for the future Resort development to include public, commercial and/or public civic space.

2.5 ENVIRONMENT

2.5.1 EPA Advice

The rezoning of the Structure Plan area was initiated prior to the 1996 changes to the *Environmental Protection Act 1986* which allow the Environmental Protection Authority to undertake environmental impact assessment of scheme amendments. Nevertheless, it was considered essential that the environmental parameters within which development planning should occur, should be established up-front. Failure to establish these parameters would potentially lead to individual assessment of each subdivision application creating an administrative nightmare and possibly inconsistent outcomes.

Consultation with the Authority resulted in the suggestion that the Environmental Protection Authority could give advice under Section 16j of the Act. To gain this advice, the Structure Plan area has proceeded through a process commensurate with a standard environmental impact assessment including data collection, analysis and reporting with the report having been released for public examination and comment leading to consideration by the Environmental Protection Authority and the publication of conditions and recommendations in Bulletin 1031 dated October 2001.

The key environmental factors identified through the review process were :

- (a) Nature conservation and biodiversity;
- (b) Declared rare and priority flora, and other significant flora;
- (c) Hill River and estuary;
- (d) Wetlands;
- (e) Coastline;
- (f) Beach ridge plain;
- (g) Landform and landscape;
- (h) Ground and surface water;
- (i) Solid and liquid waste disposal;
- (j) Marine environment;
- (k) Enhanced greenhouse effect; and
- (l) Environmental sustainability.

In addressing these factors, the landowner has prepared a number of documents including a comprehensive Environmental Report and a Strategy for Native Conservation and Bio-diversity which contain a number of commitments summarised below :

“

- *establish conservation reserves on the site to protect the key environmental features including the coastline, the Hill River and its estuary, wetlands, a vegetated portion of the beach ridge plain at Island Point, and the lower slopes of the Spearwood dunes;*
- *establish conservation reserves on the site to protect a transept of vegetation and landform types (the proposed transept forms an east-west corridor roughly through the centre of the site);*
- *cede for conservation purposes an 86 hectare lot owned by Ardross Estates Pty Ltd (this lot is on the east side of the development site);*
- *prepare Management Plans for the above reserves;*
- *retain additional vegetation and fauna habitat in multi-purpose public open space reserves;*
- *liaise with CALM regarding the major neighbouring reserves and proposed Marine Park to ensure that population growth in the region can be managed without detriment to the environmental values of CALM reserves;*

- *consult with CALM, as is occurring at the time of publication of this report, to determine CALM's requirements for protection of flora priority species and species of interest; carry out targeted flora surveys, and subsequently cede land to the satisfaction of CALM if significant species are identified; and*
- *incorporate a series of environmental management measures in all future development plans to ensure ongoing environmental protection as the population expands (these measures to include best management practices of water sensitive urban design to minimise the pollution of sensitive environments and prevent adverse impacts on the hydrology of wetlands and the Hill River)."*

In setting out its deliberations the Environmental Protection Authority dealt first with Nature Conservation and Biodiversity and provided the following advice :

" (a) The EPA considers that Ardross Estates' Strategy for Nature Conservation and Biodiversity (Tingay 2001) provides an appropriate basis for the retention of natural areas, and supports the Strategy to the extent that the Strategy ensures:

- *Significant and scarce habitats and vegetation on the site will be protected, notably:*
 - ⇒ *the coastline;*
 - ⇒ *the beach ridge plain;*
 - ⇒ *the Hill River, the Hill River estuary and adjoining buffer;*

- ⇒ *wetlands and adjoining buffers; and*
- ⇒ *a portion of the vegetation of the lower Spearwood Dunes within a bushland reserve of sufficient dimensions to ensure its long term survival;*
- *Key landscape elements, and typical landscape and vegetation elements, will be protected, generally identified or referred to in the Conservation Strategy;*
 - *Targeted flora studies will be undertaken to the requirements of CALM, and any areas recommended by CALM to be set aside for the protection of significant species will be ceded for conservation purposes;*
 - *Bushland corridors that link the above areas on the site with adjoining off-site bushland areas, and include natural sequences of vegetation and landforms, will be reserved. In this regard, the EPA supports the east-west corridor through roughly the centre of the site, provided that the corridor is at least 500 metres wide in average width, with all parts of the corridor to be at least 400 metres wide;*
 - *Additional natural and semi-natural areas will be retained through the detailed planning process. Open space areas in this category may include some recreational open space that retains bushland; semi-natural areas required by management plans such as the Water Management Plan to protect key ecosystem processes; and, following more detailed*

planning studies, additional coastal foreshore reserve and wetland buffer areas, and buffer areas around any dunes that are to be retained to accommodate any sand blow that may affect residential amenity, and movements, if any, of those dunes;

- *Off-site conservation measures will be implemented. See point (b) below;*
 - *Environmental management plans that describe procedures to minimise disturbance in the long term to key remnant vegetation on and adjoining the site will be prepared, then implemented, at appropriate stages in the development process;*
 - *Schedules will be developed, and subsequently implemented, for the collection of baseline environmental data and the monitoring of ecosystems;*
 - *Periodic review of appropriate elements of the Conservation Strategy will occur, to ensure that environmental objectives continue to be met as development occurs on the site and incrementally in the Central Coast Region; and*
- (b) *An important component of the Strategy for Nature Conservation and Biodiversity is the identification of off-site conservation measures. The EPA agrees that the ceding of the 86 hectare site on the eastern side of Indian Ocean Drive fulfills the requirement for off-site conservation measures, taking into account the proposed on-site conservation measures.*

- (c) *The EPA recommends that at the initial stages of planning for the site a long term vision is developed that focuses on integration with the natural attributes of the site and environmental sustainability. Development of the site is expected to occur in accordance with development policies or guidelines that ensure that the overall vision is progressed.*
- (d) *The portion of land to be cleared prior to each stage of development should not exceed the expected short term demand for land.*
- (e) *The EPA notes that some access and infrastructure will be required through conservation areas in the Turquoise Coast Development. The EPA advises that these should be carefully located to minimise environmental impacts, and should be minimised as far as practical.*
- (f) *The EPA's expectations regarding the timing of the implementation of conservation measures, and the future role of the EPA as development proceeds, are provided in Section 3 'Future Role of the EPA'."*

Under the heading “Declared rare and priority flora, and other significant flora”, the Environmental Protection Authority provided the following advice :

“ *The EPA endorses the initiatives that the land owner is making in consultation with CALM with respect to significant flora, to the extent that the initiatives are consistent with the following:*

- *Targeted flora survey work to determine whether significant flora species are present on the properties will be carried out. The timing and methods used in these surveys will be to the satisfaction of CALM.*
- *Areas with populations of flora that are considered by CALM to be significant will be protected by reservation for conservation purposes. These areas should preferably be shown in the Structure Plan, or alternatively an adequate process to protect these areas should be described at the structure planning stage and then pursued. The areas that may need to be set aside for the protection of significant flora would be additional to the areas shown in the Conservation Strategy (Tingay 2001) if they are located outside the nominated conservation areas.*
- *Management plans for significant plant populations will be prepared by the land owner in consultation with CALM, before ground disturbing works near the populations occur. The management plans will be subsequently implemented.”*

The EPA considers that its objectives for declared rare and priority flora and other significant flora, can be met provided that its advice above is followed.

Since giving this advice, a targeted flora survey has been completed to CALM's satisfaction and minor adjustments made to the proposed reserve system to accommodate populations of flora.

Advice in respect of the Hill River and estuary included the following :

“ The EPA supports the work done to identify land for conservation adjoining the Hill River, and the proposed conservation measures, and expects implementation of the following advice:

- *The Conservation Strategy will provide for a bushland corridor reserve adjoining Hill River that:*
 - ⇒ *is in all places at least as wide as that agreed by WRC;*
 - ⇒ *will incorporate the total floodplain associated with a 1 in 100 year flood event; and*
 - ⇒ *links with on-site and potential off-site open space networks, through links with the coastal foreshore to the west, and the north-south corridor on the eastern side of the site that adjoins Indian Ocean Drive;*
- *A Hill River Bushland Management Plan will be prepared before development occurs, to protect the riverine and estuarine environments and natural processes. This should be to the satisfaction of all*

relevant authorities. Some limited passive recreation facilities may be provided in the foreshore area agreed by the WRC, but other facilities should be outside that boundary. Areas with different management priorities should be identified in the Hill River Bushland Management Plan.

- *Protection of the water regime (including water quality, water quantity and seasonal flow) supporting the Hill River will be addressed in the overall Water Management Plan for the site. Further, the detailed drainage plans for the adjoining stages of development and the Hill River Bushland Management Plan should provide more detailed prescriptions for protection of the Hill River water regime.*

Taking into account the advice of WRC and the landowner's commitments, the EPA considers that its objectives for the protection of the Hill River and estuary can be met provided that its advice is implemented. ”

Subsequent to the preparation of the “Environmental Report”, the landowner has commissioned a detailed survey of possible wetlands within the site. This study resulted in the identification of 18 wetlands in addition to the two discussed within the “Environmental Report”. Three of these additional wetlands were reported to be in poor condition and not recommended for protection. The other wetlands are to be protected resulting in the following Environmental Protection Authority advice:

- “ (a) The EPA supports the inclusion of all the wetlands in the network of reserves shown in the Conservation Strategy.*
- (b) The EPA accepts that the environmental values of three of the wetlands that are on the beach ridge plain have been severely reduced by historic clearing and agricultural use.*
- (c) Buffers associated with the wetlands also require reservation, and protection. The Environmental Protection Authority agrees that the buffer around the large wetland in the northern part of the property should not be less than the buffer shown in the Environmental Report. The wetland buffers elsewhere are to be based on detailed site studies and reflect the latest methodology for wetland buffer determination, at the time of reservation.*
- (d) The primary objective of the portion of the open space reserve that incorporates each wetland and its buffer should be conservation of the natural attributes and functions of the wetland. The buffer should not perform an urban drainage function. Passive recreational use and minor complementary facilities within the buffer may be acceptable. Other recreational facilities should be outside the buffer.*
- (e) Management plans for the wetland areas and their buffers, and for urban water management near the wetlands, should be prepared before development and implemented. It is considered that the EPA’s objectives for wetlands may be met provided there is satisfactory implementation of its advice. “*

EPA advice on the coastline and coastal foreshore reserves contained the following :

“(a) The EPA expects that the final coastal foreshore will be, in all places, of sufficient width to accommodate:

- *The following physical coastal processes – long term shoreline movements, absorption of the impact of a sequel of severe storm events, allowance for global sea level rise, and allowance for the maintenance of natural coastal processes;*
- *Maintenance of coastal ecological systems and processes (eg sustainable habitat for coastal flora and fauna) in the long term; and*
- *Coastal landscape and coastal features that have value for social, cultural and economic reasons, including visual amenity, tourism, recreation and cultural heritage.*

It is expected that the foreshore will be wider, in places, than shown in the figures in the Conservation Strategy and Ardross Estates’ Environmental Report, to ensure, into the long term, that the foreshore reserve can accommodate physical and ecological processes, as well as providing for human amenity and culture. The boundary of the foreshore reserve should also reflect practical, aesthetic and natural lines. It should not unduly dissect dune landforms. In places, the foreshore may need to be increased to include entire dunes. It is noted that Department of Transport advice relates setback lines to the line of established vegetation or the toe of the erosion scarp at the time of subdivision and notes that this line may be in a different place to the present line should development not occur in some places for many years.

At this stage it is expected that the final coastal reserve will be determined through the planning process, taking into account the evolving State Coastal Planning Policy.

- (b) The coastal foreshore reserve is expected to link with other areas or corridors of open space both on the property, as shown in the Conservation Strategy, and adjoining the property, as part of an overall open space network for the locality; and*
- (c) A Coastal Foreshore Management Plan should be prepared before clearing and development near the coastline occurs, to the satisfaction of the relevant authorities.*

It is considered that the EPA's objectives for the coastline may be met provided there is satisfactory implementation of its advice."

Two beach ridge plains occur within the Structure Plan area. the older plain is to the east and south-east of the existing townsite and is generally cleared and degraded. The second plain is at Island Point and in part retains vegetation cover. The landowner has committed to protecting a representative sample of this plain and this has been identified in the "Strategy for Nature Conservation and Bio-diversity", prompting the following Environmental Protection Authority advice :

- " (a) The EPA endorses the inclusion of most of the vegetated portion of the beach ridge plain in the north west corner of the site, in a reserve for conservation purposes, and expects that it will be no less in size than the proposed reserve shown in the Conservation Strategy (Tingay 2001).*

- (b) *As for all conservation reserves, a Management Plan for the beach ridge plain reserve should be prepared before clearing and development near the proposed reserve occurs, to the satisfaction of the relevant authorities. The Management Plan should be subsequently implemented in accordance with the specifications in the Plan.”*

The EPA considers that its objectives for the beach ridge plain landform can be met provided that its advice is implemented.

Landform and landscape are significant in defining the character of an area as well as for their environmental and scientific values. This significance is recognised in the Environmental Protection Authority's advice as follows :

“Taking into account the environmental significance of the locality, the EPA’s advice on landform and landscape is as follows:

- (a) *The EPA expects that natural areas and natural character will be retained and managed through the implementation of on-site and off-site conservation measures as outlined in the EPA’s advice in Section 2.1. Key areas to be protected from point of view of landform and landscape are summarised in (d) below;*
- (b) *The EPA urges that during all stages of the planning process, planning of the urban fabric will integrate with the natural landscape and landforms, and with planning for the overall open space network for the site. The EPA recommends that further investigations are carried out during the planning process, to address visual amenity and opportunities for urban design to relate to the natural landscape and landforms.*

- (c) *The EPA expects development to occur in accordance with development policies or guidelines that ensure that an overall vision for coastal development is maintained in the long term. The EPA envisages that the vision should be clearly focussed on the natural setting and on maintaining a sense of an “environmental living zone” with development to occur in nodes such that the site retains an overall sense of natural landform and setting. Development should allow the retention of the natural character and characteristic landforms as far as practical, and particularly where vistas are experienced.*
- (d) *Development of the site should provide for the retention of the key landscape and landform elements and representative portions of all landforms and vegetated landscapes, on the site. These elements are considered to include:*
- *The coastline and its foreshore, including some coastal dunes;*
 - *The vegetated portion of the cusped headland at Island Point;*
 - *The Hill River valley and the Hill River estuary;*
 - *Wetlands and their buffers;*
 - *A landscape protection zone generally adjoining Indian Ocean Drive;*
 - *Prominent dunes in the south east of the site*
 - *Bushland corridors that enable some natural sequences of vegetation types and landforms to be retained; and*
 - *Additional portions of a range of landform and vegetation types in local open space.*

The EPA considers that its objectives can be met provided that there is satisfactory implementation of its advice. “

In response to the Central Coast Regional Strategy and the identification of Jurien Bay as the major urban centre serving the region, the Water Corporation is preparing a Water Management Plan with the co-operation of the developer. Against this background, the EPA has provided the following advice:

“(a) The EPA expects the Water Management Plan to integrate with land use planning to ensure a good environmental outcome. For this project, the Water Management Plan is expected to address both a water supply to meet urban needs, and the disposal of water that is surplus to urban needs.

A primary objective of the Water Management Plan should be to demonstrate that development will occur without adversely affecting the hydrological regime of the Hill River system, wetlands, conservation areas, the proposed Jurien Bay Marine Park, ecological processes generally, and the water regime that supports other existing and potential beneficial uses of the groundwater and surface water resource.

If the Water Management Plan is developed in stages, the EPA expects that the first report will support the Structure Plan for the site. This report should describe the overall objectives of the Water Management Plan, and the process that will ensure that, at full development of the site, the objectives and criteria for protection of the beneficial uses of the groundwater and surface water resource will be met.

At the structure planning stage, the EPA expects that the Water Management Plan will identify the location of any major facilities required for stormwater management and water supply (if on-site), and any multi purpose corridors to be used for stormwater. The elements of the stormwater system should integrate with the open space system where appropriate. With respect to stormwater management, the Water Management Plan report that accompanies the proposed Structure Plan for the site should describe the key elements of the proposed system and provide sufficient information to demonstrate that at full development the stormwater management system will be capable of achieving environmental objectives.

The use of Water Sensitive Urban Design principles is strongly supported, including, where possible, at-source treatment and infiltration of stormwater, and the use of treatment trains that are ecologically sound.

At the structure planning stage, the likely source or sources for the water supply and approval processes for water supply, should be described.

- (b) The Water Management Plan should be implemented in accordance with the specifications in the Plan.*

- (c) *It is recommended that the brief for a comprehensive Water Management Plan be prepared to the satisfaction of the relevant authorities. These would include the WRC, Water Corporation, EPA, the Shire of Dandaragan and CALM. If the Water Management Plan is prepared in stages, the timing and detail required in each report should be agreed by the relevant authorities.*

The brief should include the following requirements (this is not necessarily an exhaustive list of requirements and will depend on the input from other agencies):

- 1. Develop the objectives and criteria for hydrological changes and export of nutrients and other pollutants, associated with the development of the site.*
- 2. Develop an overall strategy for the management of landuse and water to ensure that the developed objectives, criteria and targets can be met. Identify all potential activities that may impact on water that may arise from the development of the site.*
- 3. Undertake surface and groundwater analyses, modelling and investigations which demonstrate that the overall strategy is likely to ensure that the objectives, criteria and targets can be met.*

4. *In addressing urban water needs, propose the method of water supply, sources, distribution and management arrangements. If the supply is off-site discuss water supply options and the process that will be followed to gain approval for the use of the water supply. Address the promotion of efficient water use, and the use of on-site bores for non-potable uses.*
5. *Include an assessment of the quality and quantity of water needed by the ecosystems on and off the site that may be affected by the water resource of the site, and the periods during which those ecosystems will need that water, including any actions or restrictions needed to protect the water resource and the environment, and how these should be implemented.*
6. *Include an assessment as to whether the taking or use of water from the resource will have detrimental effect on the quantity and quality of water that is available from any other nearby water resource.*
7. *Assess the capacity of the resource to meet the demands for water on a continuing basis and make proposals for regular monitoring of the capacity of the resource to meet those demands.*
8. *Recommend strategies and responsibilities for surface and groundwater monitoring pre-development; and for monitoring, maintenance and, if necessary, remedial action (contingency planning), post-development.*
9. *Describe opportunities for use and reuse, detention and treatment of water emanating from the study area.*

10. *Describe management strategies and the most relevant best management practices for water pollutant and nutrient management. Recommend management measures that minimise recurrent maintenance whilst ensuring an ecologically responsible outcome. The Water Management Plan should address a range of mechanisms that will lead to manageable levels of nutrients and other pollutants in groundwater and surface water.*
11. *Outline procedures for the stages in implementation and management, and include review procedures for the Water Management Strategy.*

The EPA considers that its objectives for ground and surface water can be met provided that its advice is followed.”

The development is to be generally deep sewered and in accordance with normal circumstances, the local authority will be responsible for solid waste collection and disposal. This is reflected in the Environmental Protection Authority’s advice on waste management.

“ (a) At the structure planning stage, it should be shown that there are practical locations and methods for sewage disposal and solid waste disposal, for the proposed urban development, that are environmentally sound. Any waste disposal sites that the development may require, either on or off the site, should be located and managed to avoid significant impacts on the natural environment and on the health and amenity of the community. Before development, the options and broad procedures for achieving environmentally sustainable management of liquid and solid wastes produced by the development, should be identified, including a system for waste reduction, reuse and recycling. It is expected

that this step would need to interrelate with any waste management strategy for the general region.

- (b) Before development occurs, the Water Management Plan should identify potential wastes that may end up in the ground or surface water systems, and provide prevention and management measures. The EPA considers that its objectives for solid and liquid waste disposal can be met provided that its advice is followed.*

The EPA considers that its objectives for solid and liquid waste disposal can be met provided that its advice is followed. “

The Structure Plan Area adjoins the proposed Jurien Bay Marine Park as discussed earlier. Advice from the Environmental Protection Authority prescribes a consultative approach to development planning to manage potential impacts on the marine park.

“ (a) At the structure planning stage, a process should be described to identify:

- potential impacts on the proposed Marine Park arising from the development;*
- appropriate studies that should be undertaken in consultation with CALM; and*
- procedures for ensuring that development occurs in a way that is consistent with the purposes of the Park.*

- (b) The EPA’s advice on ground and surface water, the coastline, landform and landscape, and solid and liquid waste disposal is also relevant to the protection of the proposed Marine Park.*

The EPA considers that its objectives for this factor can be met provided that its advice is followed.”

Greenhouse gas emission is a topical issue also recognised by the EPA in its advice on the project:

“(a) *The EPA expects that the documentation supporting the Structure Plan and subsequent applications for approval (as relevant) will consider what can be done to promote environmental sustainability, and will demonstrate an appropriate response in terms of the following:*

- *Ensuring the healthy functioning of key ecological processes and key areas of natural ecosystems;*
- *Protecting bio-diversity;*
- *Limiting greenhouse gas and other air quality emissions;*
- *Reducing the use of materials and energy in infrastructure, transport, communities, services, housing etc. compared with conventional development, and promote the use of renewable energy and recycled materials;*
- *Managing wastes through minimising the production of waste and promoting recycling, and ensuring environmentally acceptable locations are available to process wastes from the development;*
- *Reducing the demand for fresh water, compared with conventional development, and promote the reuse of water;*
- *Protecting the community from pollution and adverse amenity impacts; and*

- *Promoting a vision for environmentally sensitive development, and the development of a community ethos that supports sustainable development and caring for the local environment.*

The EPA expects that the documentation supporting the Structure Plan will outline a vision for environmentally sensitive development and environmental sustainability with respect to the site, and the opportunities and the process for promoting this vision at subsequent stages of planning and development. This process should then be implemented. The EPA recommends the development of urban design guidelines at appropriate stages of planning, to progress the vision for environmentally sensitive and sustainable development on the site.

- (b) *Compliance with the EPA's overall advice will contribute to sustainable development of the site.*
- (c) *The objective in the Memorandum of Understanding to incorporate innovative, energy efficient and ecologically sustainable forms of development is strongly supported. In this regard, the development should where possible incorporate the principles of walkable neighbourhoods, "greenhouse" neighbourhoods, local employment and activity centres linking with a public transport network. The site should be planned to minimise dependence on private vehicular transport and to promote a public transport system. The subdivisional lot layout should be conducive to energy-efficient housing design and estate maintenance. For example, lots should achieve good exposure for solar energy systems.*

- (d) *The EPA urges that particular care is taken by the planning authorities and the developer to ensure that the initial urban constructions reflect the site-specific vision for environmentally sensitive development. The EPA recognises that the initial housing, tourism developments, estate design and stormwater drainage management systems, and activity/community nodes can to a large extent set the tone for, and inspire, subsequent development.*
- (e) *It is noted that local models for sustainable development and for the assessment of the sustainability of settlements have yet to be developed. As appropriate models and strategies are developed these should be adopted and implemented through the ongoing development of the site.*

The EPA considers that its objectives for sustainable development can be progressed provided that its advice is followed.”

2.5.2 Proposed Jurien Bay Marine Park

The Jurien Bay Marine Park is proposed to cover Western Australian territorial waters from approximately Green Head in the north to Wedge Island in the south. An Indicative Management Plan (2000) has been prepared by the Marine Parks & Reserves Authority/CALM, identifying the extent of the Marine Park and recommending management strategies.

The Indicative Management Plan characterises and maps seabed conditions (major benthic habitats) within the proposed Marine Park, and shows that to the north of Booka Valley, the seabed comprises bare sand with sparse seagrass and to the south, seagrass meadow. **Figure 5** shows the benthic habitats adjacent to the Structure Plan area.

INDIAN

OCEAN

BOUNDARY









OF

MARINE

PARK

● JURIEN

● CERVANTES

-  Shallow reef platform (includes intertidal reef)
-  Subtidal reef with predominantly macroalgal cover, interspersed with sand patches
-  Limestone pavement with some macroalgal cover, interspersed with sand patches
-  Islands
-  Bare sand with sparse seagrass
-  Seagrass interspersed with sand patches and some reef <10m depth
-  Seagrass interspersed with sand patches and some reef >10m depth
-  Seagrass Meadow

Notes/Revisions



0 Metres 4375

SCALE 1:175,000

Date : 18 June 2002 Ref. 1919/benthic/1

MAJOR BENTHIC HABITATS WITHIN
PROPOSED JURIEN BY MARINE PARK
Figure 5

In addition, the Indicative Management Plan proposes use zones over the proposed Marine Park. **Figure 6** shows that Island Point has a 100 metre wide Special Purpose (Shore Based Activities) Zone in front of a Sanctuary Zone which extends down to the headland forming the southern boundary of Booka Valley. Further south, there is a General Use Zone with an off-shore Special Purpose (Aquaculture) Zone.

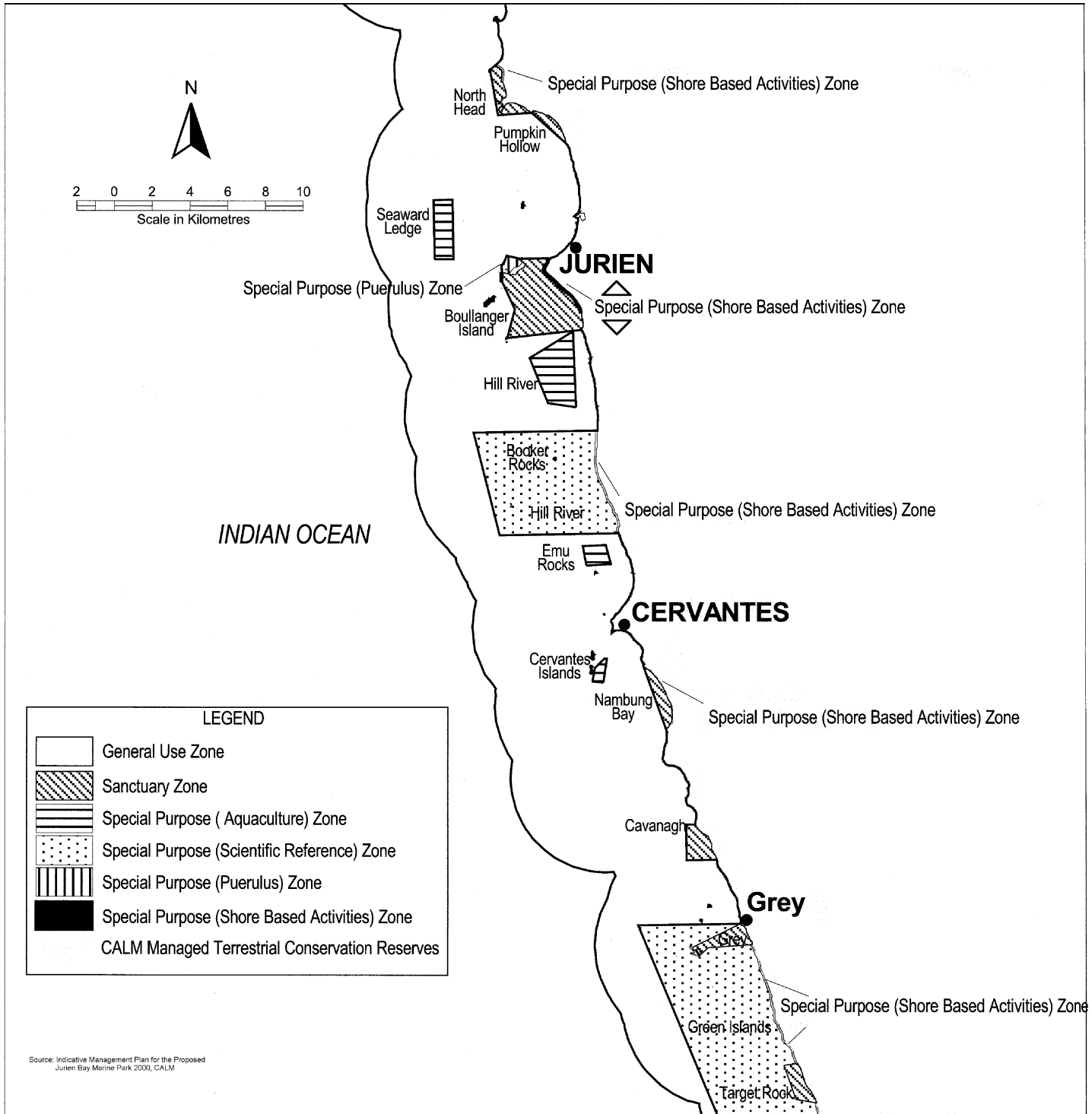
These Zones have little impact in determining the use of the adjacent land area. They do not restrict activities such as beach bathing, surfing, windsurfing, etc. No fishing (including beach fishing) is permitted in the Sanctuary Zone. Beach and boat fishing are therefore prohibited at Booka Valley, but permitted within 100 metres of the shore at Island Point. Structures are permissible in all zones subject to assessment.

The Indicative Management Plan establishes a range of Management Objectives and Targets for the various ecological values within the park, as well as for social values which include recreational and commercial activities.

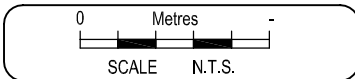
2.6 COMMUNITY CONSULTATION

There has been considerable community consultation in relation to planning proposals for Jurien Bay. This consultation commenced with the Central Coast Regional Strategy identifying Jurien Bay as the district or primary centre for the region.

The Strategy was first published in 1994 as a draft for public comment and finalised in 1996. In August 1996, the project proponents convened an “open day” at the Jurien Bay Community and Recreation Centre. This event included a display with opportunities for the public to discuss the proposition of Jurien Bay’s growth with the proponents and a questionnaire survey to help gauge community attitudes.



Notes/Revisions



Date: 28 May 2002 Ref. 1919/mainepark/mar

MARINE PARK USE ZONES
JURIEN BAY
 Figure 6

Over 150 people attended including a local school group and 124 questionnaires were returned. Generally, there was widespread community support for the growth of Jurien Bay.

Subsequently, during the advertising of Amendment No.13 to the Shire of Dandaragan Town Planning Scheme, proposing the inclusion of the Structure Plan area within a "Special Development" zone, a public meeting was held to outline planning processes to follow and to answer questions. It is fair to say that most concerns about development emanated from squatters at Booka Valley.

Between 28 August and 23 October 2000, the Environmental Report on the concept of development was advertised, inviting public submissions. The Environmental Protection Authority's Bulletin 1031 records the submissions received; there was one individual submission, three from environmental groups and six from government agencies. The range of issues covered are summarised in the Bulletin.

On January 31 / February 1, 2002 a workshop was conducted at Jurien Bay in the town's Community Centre. Participants included government agencies as well as representatives of Council, the Jurien Bay Progress & Tourism Association and the Cervantes Progress & Ratepayers' Association. At the end of each day, members of the public were invited to attend to review progress, ask questions and become involved in discussion. Approximately two dozen members of the public attended each of the consultative sessions.

Perhaps the key issues to arise related to firstly, the issue of whether the new development should be integrated with the existing township, or whether the character and lifestyle of the existing town should be protected by creating it as a separate development. The community consensus very definitely favoured integration.

Secondly, there was broad consensus that Booka Valley should be a focus for a regional beach and tourism activity. The restriction of distributor road crossings of the east-west conservation strip to only one was also favoured.

A continuous drive and dual-use path along the beach front was also a clear desire of the public who participated in the workshop process. Concern was expressed about the possible location of industry and the quality of “entry statements” into the town of Jurien Bay.

Other issues were identified as still requiring resolution, and these may be summarised to include :

- staging and implementation issues
- the future of the Jurien Bay airstrip
- employment
- creation of tourist attractions
- groundwater impacts, particularly the Hill river

3. THE SITE

3.1 SITE ANALYSIS

The Environmental Report prepared in relation to the EPA’s S16j advice is a public document which has been advertised for public comment and reviewed in the light of submissions. That Report provides a detailed analysis of site conditions and it is therefore not proposed to repeat the analysis in this Plan, particularly as the environmental impact assessment process followed has resulted in the identification of conservation reserves and therefore the land areas considered suitable for urbanisation.

Notwithstanding the discussion above, an understanding of landform, soil conditions and vegetation is essential to the physical planning of development.

a) *Landform*

Figure 7 is a Digital Terrain Model of the site with the boundaries of the proposed conservation reserves draped over the landform. In general, the landform is relatively flat with the pattern of relief falling into three generalised descriptive units.

The first of these units comprises the beach ridge plain in the northern part of the site. This unit is particularly flat with relief limited to only several metres coinciding with historic coastline positions.

In places, recent coast dunes overly the beach ridge plain along the foreshore strip and further south, these dunes intrude further inland. They exist in ridges as well as forming parabolic systems. The dunes are relatively steep but only moderate in height, with a relief of around 10 metres above the otherwise flat landscape.

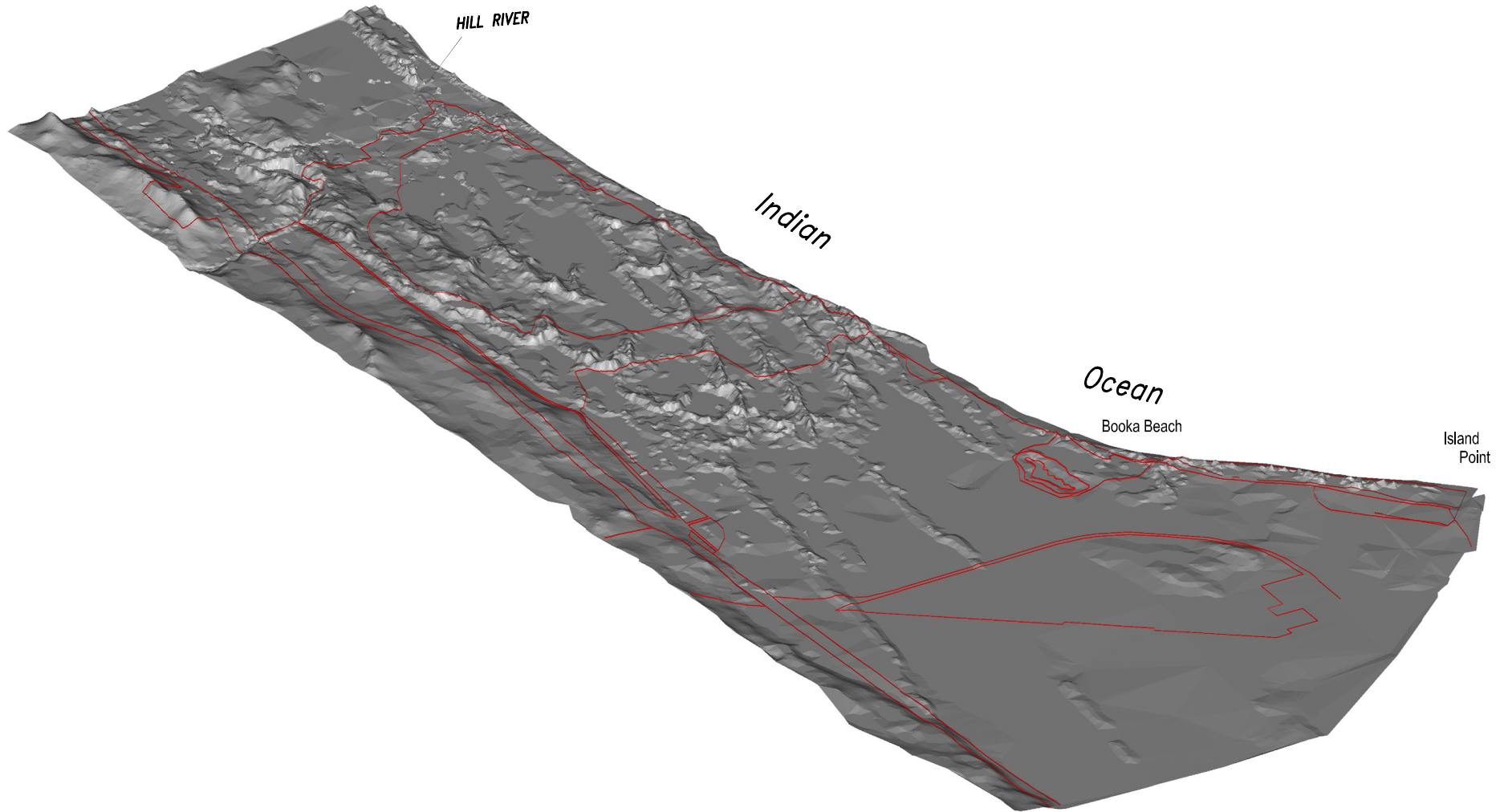
Further to the east lies the older, Spearwood dune system which is more gently graded and rounded.

Overall the landform poses no particular constraint to development other than, the general lack of gradient has implications for drainage design and sewerage services utilising gravity flow.

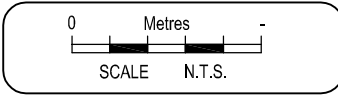
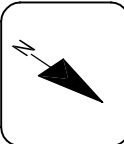
b) *Soils*

Soils are generally calcareous sands with limestone outcropping on the coast, particularly south of Booka Valley and limestone at shallow depth in the Spearwood dunes down the eastern side of the Structure Plan area.

The Environmental Report concluded that there were no karst landforms identified within the proposed development areas and no surface geological indications of such landforms.



Notes/Revisions



Date : 31 July 2002 Ref. 1919/oblique-v/A4

LANDFORM - OBLIQUE VIEW OF SITE
5 TIMES VERTICAL EXAGGERATION
Figure 7

c) *Vegetation*

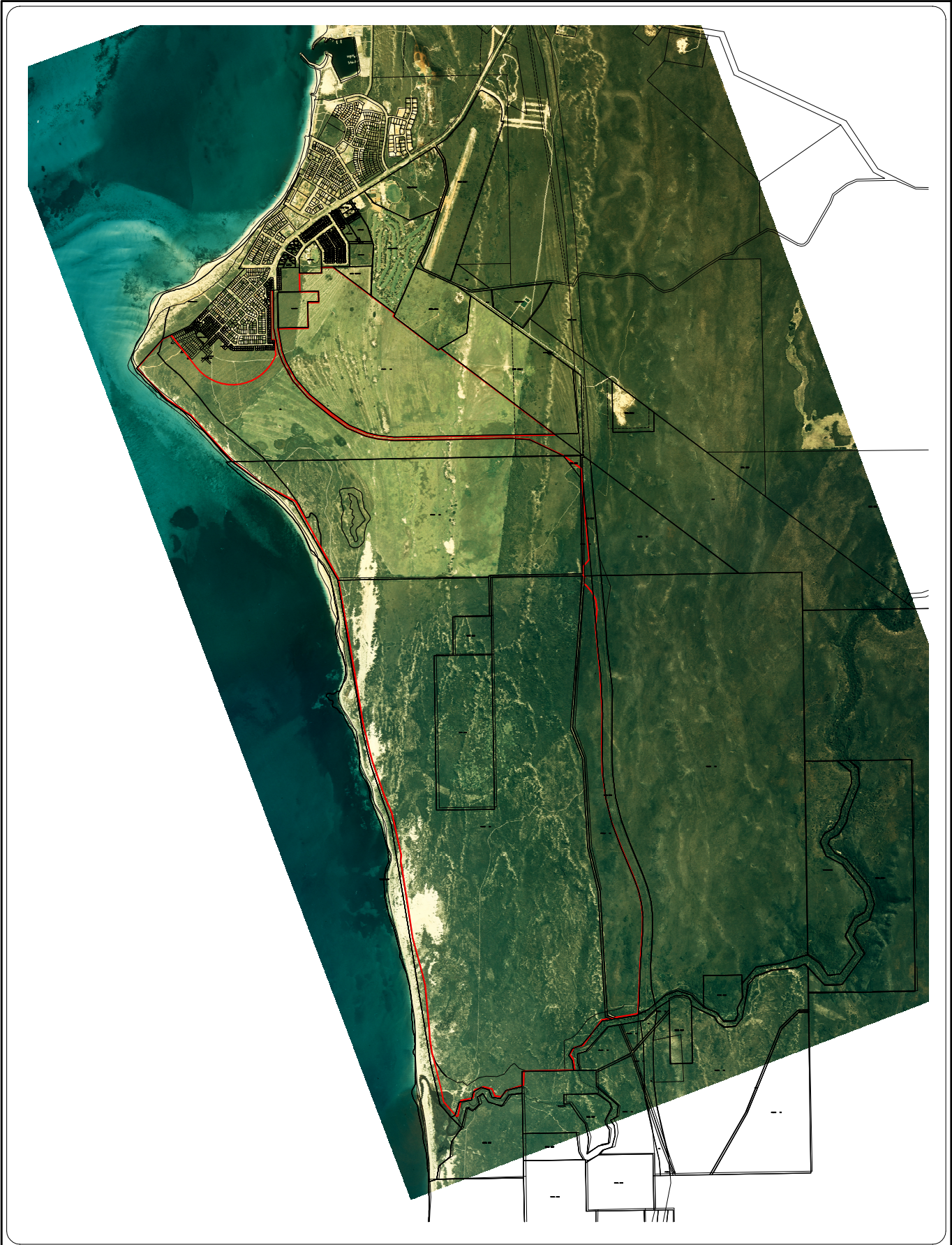
Approximately the northern third of the property is cleared with the balance under a blanket of relatively low, coastal heath. **Figure 8** is an aerial photo of the site allowing the vegetated areas to be discerned.

Apart from the conservation reserves identified through the environmental review process, there are no particular specimens or clumps of vegetation which leap out as being essential landscape elements to be taken into account through the Structure Planning exercise. Rather, the heath vegetation has a more subtle influence on defining the character of the site.

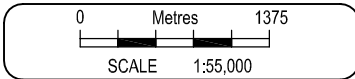
3.2 CONTEXT ANALYSIS

The context of the site comprises a blend of man-made and natural features.

Jurien Bay itself extends from North Head in the north to Island Point in the south. The townsite of Jurien Bay is located on the southern shore of the bay, towards Island Point. Immediately to the north of the existing townsite area is the Jurien Bay boat harbour. Offshore there are a number of sizeable islands including Favorite Island, Boullanger Island, Whitlock Island and Escape Island. Whilst these islands are nature reserves, it is understood that managed access is likely to be made available, particularly to Favorite and Boullanger Islands which have sandy, protected beaches attractive for public use. To the south of Island Point the beach front is varied, including a rapidly eroding foreshore immediately to the south of the point, followed by a stable sandy beach backed by low dunes at Booka Valley, and then further south a mix of rocky shelf and sandy beach down to the Hill River. The beach at Booka Valley has been identified as the most suitable site for a regional beach and focus for tourist activity.



Notes/Revisions



Date : 28 May 2002 Ref. 1919/may2002/aerial

AERIAL PHOTOGRAPHY OF SITE
JURIEN BAY
Figure 8

The Jurien Bay townsite itself generally comprises a narrow strip of urbanisation following the coastline to the south of the boat harbour. The main street through the town is Bashford Street which has been adopted into the interim route of Indian Ocean Drive. Ultimately, Indian Ocean Drive is proposed to bypass the town centre with Bashford Street comprising a loop off the main north-south route.

Jurien Bay's town centre is generally situated along Bashford Street between Roberts Street and Doust Street. Notwithstanding that general observation, significantly the town's hotel/motel is situated on White Street. For the most part, the town's commercial development is confined to the area north of Bashford Street. To the south of Bashford Street, particularly in the area of Bailiff, Batt and Hamersley Streets, is the main civic and community precinct comprising the Police Station, Council Offices and Chamber; with new facilities under construction, the town's Library, a new Medical Centre and the district High School and Primary School. Further to the north-east along Bashford Street but still on the southern side, are the main recreation facilities comprising an oval, tennis courts, bowling club and golf course, together with an indoor recreation and community centre.

A mixed-use area has tended to develop along the beach front from approximately the centre of the town up to the boat harbour. This area comprises a mix of tourist accommodation, commercial development, development associated with the fishing industry; as well as recreation and residential. It is likely that the mixed character of this coastal strip will be strengthened with the future development of a site earmarked for tourist accommodation on the southern headland of the boat harbour.

Industrial development occurs on the eastern side of the town, to the north and south of Bashford Street. Also to the east of the town is the local airstrip, on a north/north-east to south-west trend. At the southern end of the airstrip is a stock route, heading inland towards the south-east. The town's wastewater treatment plant is situated to the north of that stock route, and as will be discussed later, it is probable that a new wastewater treatment plant will be developed to accommodate the town's expansion to the east of the existing plant.

Water supply infrastructure is situated on high land to the north of the Jurien Bay East Road and to the east of Indian Ocean Drive. This infrastructure comprising storage tanks for gravitational feed is generally well removed from the townsite area and this Structure Plan area.

Indian Ocean Drive is a recently completed single carriage way dual lane road extending on the eastern side of the Structure Plan area until it intersects with Bashford Street. To the north of Bashford Street, the road is yet to be constructed.

Finally, the conservation reserves including the reservation parallel to Indian Ocean Drive, the foreshore reserve along the Hill River, the east/west strip through the centre of the site, as well as coastal reserves including the beach ridge plain in the north, have considerable influence in defining the pattern of Jurien Bay's development and hence the proposals of this Structure Plan.

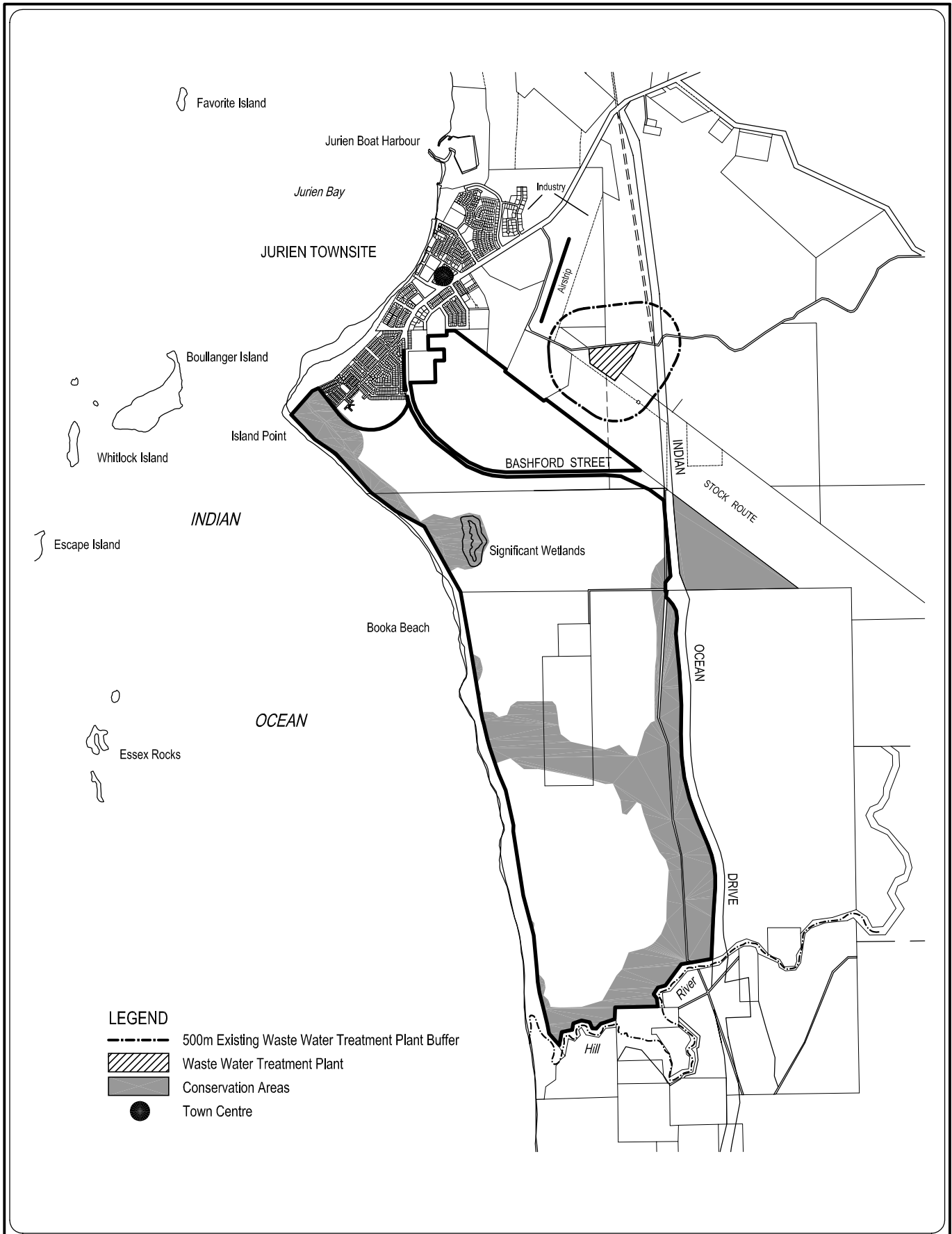
The contextual elements influencing the urban form and briefly described above, are located on **Figure 9** - Context Analysis.

4. PROPOSED STRUCTURE PLAN

4.1 FUNCTION

An understanding of Jurien Bay's function or reason for being is pivotal to this Structure Plan. The base industry is the fishing industry, in particular exploitation of the rock lobster fishery. Tourism is also a major industry and the town also has a reputation as a retirement centre. Since the town's role as a district centre was identified in the Central Coast Regional Strategy, several administrative functions have located in the town including the principle offices of the Dandaragan Shire Council and the regional offices of CALM.

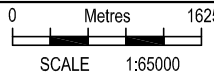
Insight to Jurien Bay's function can be gained from demographic data and to this extent, preliminary results of the 2001 Census have recently become available.



LEGEND

-  500m Existing Waste Water Treatment Plant Buffer
-  Waste Water Treatment Plant
-  Conservation Areas
-  Town Centre

Notes/Revisions



Date : 27 June 2002 Ref. 1919/27Jun02context/11

CONTEXT ANALYSIS
 JURIEN BAY
 Figure 9

The town's population has shown a steady rise over the last two decades as demonstrated by **Table 1**.

Table 1 Jurien Bay – Population Change 1981 to 2001

Year	Population	Increase %	Increase in No. of People pa
1981	449		
1986	730	62.6	56
1991	830	13.7	20
1996	933	12.4	21
2001	1153	23.6	44

Table 2 shows age characteristics of Jurien Bay's population at 2001, providing a comparison with the State as a whole. The table reveals the elevated proportion of retirees living in Jurien Bay.

Table 2 Age Characteristics - Jurien Bay 2001

	Age	Persons	Prop.%	WA Prop.%
Pre-School	(0-5)	112	9.8	8.1
School	(6-17)	166	14.5	17.9
Young Adult	(18-24)	76	6.7	9.7
Adult	(25-44)	296	25.9	30.0
Middle Age	(45-59)	227	19.9	19.1
Retired	(60 & over)	275	24.1	15.3

At 2001, Jurien Bay had a total of 808 dwellings of which 307 or 38% were unoccupied indicating a high proportion of weekenders/holiday homes in the town.

Table 3 shows the industry of employed persons in Jurien Bay at 1996, the 2001 employment data not yet available. The Table indicates the importance of the fishing industry to Jurien Bay, particularly with regard to the fact that much of the manufacturing industry is likely to supply the fishing industry. Construction, retailing and administration are also major industries.

Table 3 Industry of Employed Persons - Jurien Bay 1996

<i>Industry</i>	<i>Persons</i>	<i>Prop.%</i>	<i>WA Prop.%</i>
Agriculture, Forestry, Fishing	33	10.4	4.9
Mining	6	1.9	3.7
Manufacturing	32	10.1	10.1
Electricity, Gas & Water Supply	11	3.5	0.9
Construction	42	13.3	7.2
Wholesale Trade	3	0.9	5.7
Retail Trade	34	10.8	13.5
Accommodation, Cafes & Restaurants	10	3.3	4.3
Transport & Storage	15	4.7	4.0
Communication Services	7	2.2	1.7
Finance & Insurance	6	1.9	3.3
Property & Business Services	15	4.7	9.9
Government Administration & Defence	19	6.0	4.1
Education	29	9.2	7.3
Health & Community Services	15	5.7	9.4
Cultural & Recreation Services	0	0.0	2.1
Personal & other services	15	4.7	4.0
Non-Classifiable	3	0.9	1.5
Not stated	18	5.7	2.4

Because the fishing industry is a managed and regulated industry, it is not likely to grow significantly. The other functions of Jurien Bay are likely to continue, however. It will remain a centre with attraction to retirees and those wanting a holiday home as well as an administrative centre supplying regional education, retail and manufacturing needs. Urban growth will ensure construction remains a major employer.

The implications for structure planning are not only to supply the land needs for these uses, but to have regard to the implications for urban form. The urban design policy “Liveable Neighbourhoods” advocates neighbourhoods focused on a centre within a 450 metre radius walkable catchment. The impact of a high proportion of vacant holiday homes will need to be considered in relation to the siting of centres during Development Plan preparation.

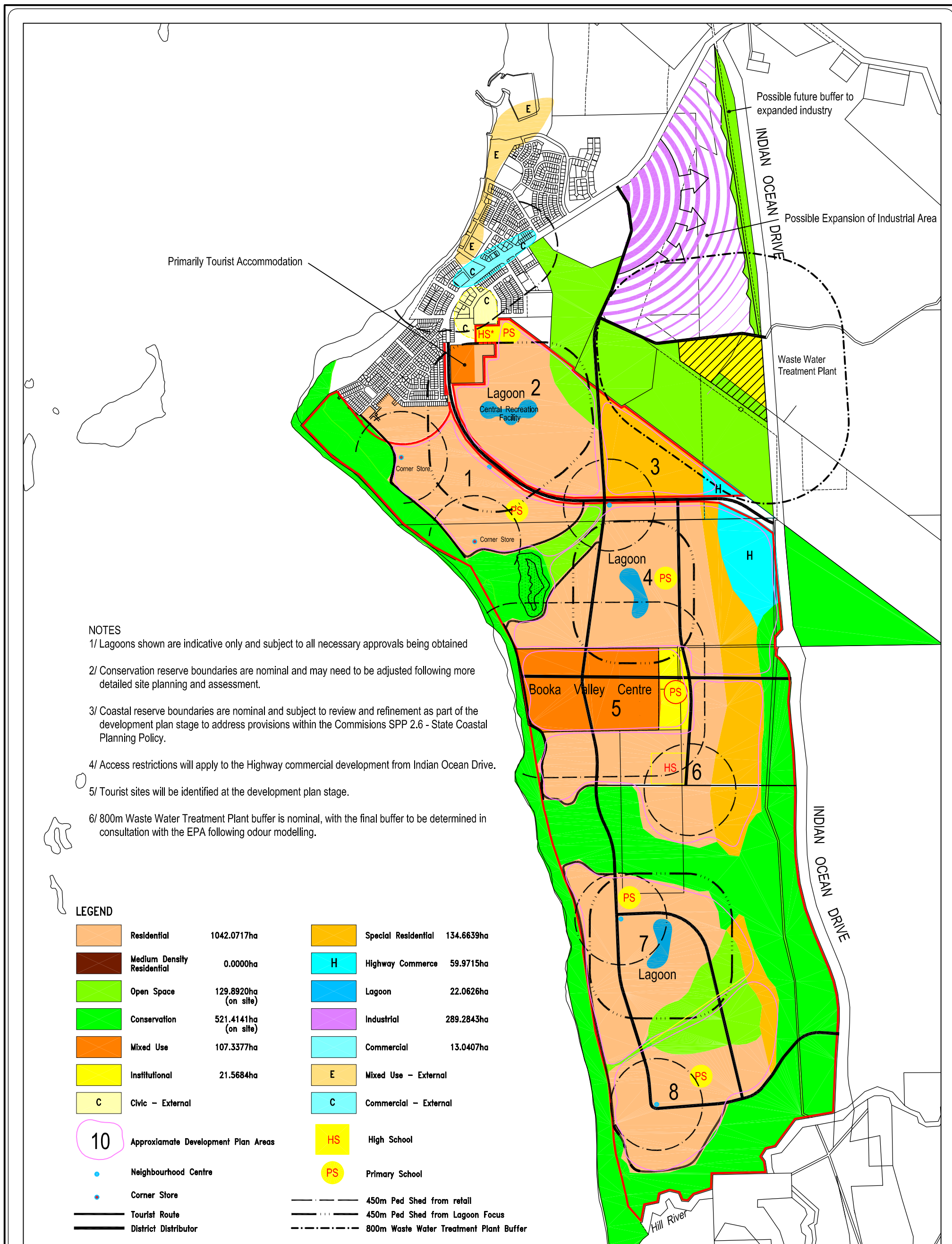
4.2 PLAN DESCRIPTION

This Structure Plan proposes an urban, tourism and holiday community within a unique environment comprising nodes of development retaining a high degree of “naturalness”. This is in part achieved by setting aside large areas of land for the protection of biodiversity as well as utilising landscaping policy and providing a variety of open spaces including semi natural reserves. The plan aims to achieve high levels of sustainability as defined through the “triple bottom line” approach of environmental, economic and social sustainability. These issues are canvassed in the proponent’s environmental reporting, as well as being consequent on EPA advice’s and the MOU entered with Council and the WAPC

Figure 10 shows the proposed Structure Plan over the Special Development Zone area at Jurien Bay, and for reasons of placing the plan in context, illustrates some planning proposals for land beyond the boundaries of the Zone.

The public consultation process and the MOU highlighted a need for integration between the new development and the existing town. In large part this is seen, particularly by the public, as supporting the existing town centre including the commercial and community facilities rather than the creation of new, competing facilities which could lead to the demise or contraction of the existing centre.

Accordingly, the Structure Plan illustrates in a general way the expansion of the existing town centre, linking into a mixed use area



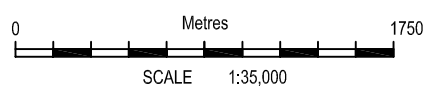
NOTES

- 1/ Lagoons shown are indicative only and subject to all necessary approvals being obtained
- 2/ Conservation reserve boundaries are nominal and may need to be adjusted following more detailed site planning and assessment.
- 3/ Coastal reserve boundaries are nominal and subject to review and refinement as part of the development plan stage to address provisions within the Commissions SPP 2.6 - State Coastal Planning Policy.
- 4/ Access restrictions will apply to the Highway commercial development from Indian Ocean Drive.
- 5/ Tourist sites will be identified at the development plan stage.
- 6/ 800m Waste Water Treatment Plant buffer is nominal, with the final buffer to be determined in consultation with the EPA following odour modelling.

LEGEND

	Residential	1042.0717ha		Special Residential	134.6639ha
	Medium Density Residential	0.0000ha		Highway Commerce	59.9715ha
	Open Space	129.8920ha (on site)		Lagoon	22.0626ha
	Conservation	521.4141ha (on site)		Industrial	289.2843ha
	Mixed Use	107.3377ha		Commercial	13.0407ha
	Institutional	21.5684ha		Mixed Use - External	
	Civic - External			Commercial - External	
	Approximate Development Plan Areas			High School	
	Neighbourhood Centre			Primary School	
	Corner Store			450m Ped Shed from retail	
	Tourist Route			450m Ped Shed from Lagoon Focus	
	District Distributor			800m Waste Water Treatment Plant Buffer	

Notes/Revisions



Date : 24 November 2003 Ref No. 1919/21Nov03/Final A3

STRUCTURE PLAN

Figure 10

along the ocean foreshore up to and including the Jurien Bay boat harbour. To the south of the commercial area, the community precinct is shown to extend into the Structure Plan area to accommodate expansion of the existing high school onto a 10 ha site and re-establishment of the existing primary school on a separate site. There is potential for other community/civic functions to expand/locate in this precinct.

Additionally, the Structure Plan at Figure 10 shows how the proposed development relates to recreation areas to the north, including the town's golf course and the old stock route, parts of which are currently used for equestrian purposes.

Provision is also indicated for expansion of the town's industrial area to utilise the existing airstrip and land eastwards towards the future Indian Ocean Drive alignment. Community consultation resulted in expressions of concern about industry forming an entry statement to the town. An indicative landscape buffer is therefore shown. In many respects however, the existing industrial areas to the north and south of Bashford Street form the entry statement to the town as approached via Jurien East Road.

It would seem to be in the best interests of Jurien Bay's development that the airstrip be relocated to avoid flight paths over future housing. Two alternative locations include consolidating aircraft activity at Cervantes, a relatively short distance to the south since completion of the section of Indian Ocean Drive between the two towns or relocation out to a site at the corner of Jurien East Road and Munbinea Road, to the east of town.

Figure 10 shows the Structure Plan area divided into numbered cells indicating likely staging and future Development Plan areas. Progressive development southwards from the existing township is envisaged.

The EPA expressed its expectation that development would occur in nodes, and implied that an "environmental living zone" character be

created by using the conservation reserves and other natural and semi-natural open spaces to create the nodal effect. This objective is shared by the proponent. A green wedge is therefore shown between Cells 1 and 4, utilising conservation reserve around a large wetland area and extending it inland to meet a proposed large lot area in Cell 3 designed to complement the equestrian activities within the old stock route.

A second node of development is shown further south, focused on the beach at Booka Valley and incorporating Cells 4,5 and 6. A third node comprising Cells 7 & 8 is located down towards the Hill River.

The impact of green spaces is augmented by large lot areas, particularly towards the east of the Structure Plan area in Cells 7 & 8. A possible golf course is indicated in the southern node potentially dividing this area into two sub-nodes. Whether there will ultimately be justification for a second golf course at Jurien Bay is for posterity to tell, however the provision is made at this point.

The Structure Plan distinguishes between the conservation areas and large recreation spaces aimed at creating development nodes in a natural setting. Although the Plan draws this distinction between the open spaces, it is not intended that the area's marked for conservation should be isolated from public access. In particular, coastal and river foreshore reserves will have significant recreation functions which will need to be managed by the implementation of appropriate management plans.

Booka Valley is shown to be the focus of a mixed use area envisaged to contain a lively combination of tourist accommodation, commercial development and residential uses. It is likely that this area's character will change over time and intensify. As much as possible the retention of large, vacant areas of land is to be minimised, with preference to allowing interim uses to establish in line with requirements of the MOU.

Booka Valley is planned to be a regional beach. The high level of public use of this area is consistent with the proposals for the Marine Park in that beach fishing is not permitted at this location under the zoning proposals for the Park.

Commercial development including retailing is envisaged in this mixed use area. It is probable that it will ultimately contain a considerable amount of retail floor space, for the simple fact that site accumulation in the existing town centre will likely prove difficult because of the current subdivision pattern and it will not prove to be possible to accommodate all retail demands in this area. To this extent, the proposed mixed use area at Booka Valley some 3.5 kms to the south as the crow flies, and within a different node to that containing the existing town centre, is so situated that it warrants significant commercial development, particularly if targets such as the MOU requirement that average personal car trips should not exceed 7.5 kms per trip are to be met. The challenge will be to stage development so that the traditional town centre retains and strengthens its role along with the establishment of appropriate facilities at Booka Valley.

Cells 3 and 4 propose some highway commercial development to take advantage of exposure to Indian Ocean Drive and the Bashford Street entrance into the town. A roadhouse, motel for travellers passing straight through the area and other uses requiring a high level of exposure are anticipated. More detailed design and consideration of the development of these areas will need to be given at the Development Plan stage. Should the demands of these types of uses manifest themselves sooner rather than later, it may be necessary to

prepare Development Plans over smaller portions rather than the whole Cell. Indeed, this principle may apply to any of the suggested Cells.

The Plan indicates several possible “lagoons”. These are modelled on Lake Alexander in Darwin, a large body of seawater pumped into a man-made basin. At Jurien Bay these lagoons would be constructed above the water table and isolated by impervious membranes. Seawater would be circulated to maintain a suitable quality of water for reasons of public health and to prevent hypersalinity. Drainage waters would also be isolated from the lagoons to avoid problems of eutrophication.

The proposal will need to be the subject of detailed investigation, however the Marine Parks Reserve Authority has notified its conditional agreement in principle (**Appendix 1**).

The major road system is based on Indian Ocean Drive forming the regional connection linked by district distributors including Bashford Street to form a modified grid. In accordance with EPA advice, crossings of conservation reserves particularly the east-west strip, are minimised.

An outcome of the public consultation program was the desire for a continuous coastal drive. If implemented, this would represent another crossing of the east-west conservation link as well as creating a road separating wetland reserve from the ocean foreshore. The EPA has indicated that a continuous foreshore road is unacceptable because of crossings of conservation reserves. A continuous foreshore road is however provided adjacent to urban areas accommodating public access to beaches.

4.3 SUSTAINABILITY

Sustainability issues are addressed in the broader scale within this Structure Plan and will be addressed in greater detail under the subsequent planning stages. The following chart at **Table 4** relates the sustainability issues to the planning phases.

Table 4 SUSTAINABILITY CHART

Issue	Structure Plan	Development Plan	Subdivision
General Biodiversity & Natural Environment	Identify biodiversity reserves.	Establish reserve boundaries with higher degree of accuracy after carrying out detailed investigations. Develop management plans for adjacent reserves. Ascertain multi purpose POS which may retain some bushland to serve some biodiversity protection functions. Carry out visual impact studies.	Survey and vest reserves in Crown ownership at appropriate subdivision stage. Implement proposals of management plans.
Energy Efficiency & wise use of Natural Resources	Identify routes of efficient distributor road system. Identify trunk cycleway system. Identify public transport routes. Locate district scale destinations to maximise efficiency. Locate neighbourhood centres to take advantage of the "movement economy" and to be within efficient pedestrian/cycle catchments.	Establish efficient, interconnecting local street systems. Plan for pedestrian/cycle systems at the local level including access to public transport routes. Detail neighbourhood centres and establish design guidelines. Design residential lots so that a high proportion have solar efficiency.	Construct infrastructure including roads, cycleways and footpaths, with a view to minimising the number and length of vehicle trips. Create neighbourhood centre sites. Create residential lots with regard to solar orientation. Implement any sustainability strategies that may have been developed (having regard for government initiatives on sustainability).
Water Use	Integrate with preparation of Total Water Management Plan.	Plan to minimise domestic and public water use. Plan to recycle waste water. Infiltrate stormwater as close to source as possible. Continue to develop Water Management Plan and integrate development with Water Management Plan.	Integrate water efficient landscaping packages. Implement water efficient landscaping packages. Design public spaces to take advantage of wastewater recycling opportunities. Implement drainage strategies minimising piped systems.
Waste Management	Acknowledge Shire of Dandaragan Waste Management review.	Design lots and landscaping to limit green waste. Consider education programmes to limit waste and improve recycling.	Implement landscaping proposals and any waste minimisation programs agreed on.
Relationship to Marine Park	Development planning to be consistent with proposed Marine Park Zonings. Total Water Management Plan to duly regard water quality issues.	Design for all facilities including parking facilities at regional/district beaches to be sympathetic to the Marine Park. Design drainage systems to attenuate nutrient inputs and other potential pollutants.	Implement Development Plan proposals for parking and facilities. Implement drainage strategies.

4.4 DEVELOPMENT YIELDS

At this point in the tiered planning process established for the Special Development Zone, the level of detail is so coarse as to make the estimation of development yields indicative only. The preparation of Development Plans under the next tier will help to crystallise the ultimate development potential of the zone.

Overall, the site is expected to generate around 9000 residential lots together with around 1400 tourist beds, 500 caravan sites and up to 30,000m² of retail floor space. In addition, there will be provision for general commercial uses, open spaces, educational institutions, including 1.4 high schools and 6 primary schools, and community facilities. Not all of the commercial/tourism development will be accommodated within the Structure Plan area as the existing town centre is to remain the main central place not only of Jurien Bay but the whole region.

The 9000 residential lots can be expected to accommodate a maximum population of around 25,000 persons, however this total needs to be tempered by the expectancy of a higher than normal proportion of absentee ownership as well as a relatively high proportion of retiree households with a lower than usual occupancy rate.

Even so, as Jurien Bay grows, it is likely to become more “normal” in terms of its demographic profile. The larger the town, the less appeal it will have to holiday makers wishing to own their own holiday home. Similarly, retirees may wish to opt for a smaller, quieter location. These trends, however, remain to materialise.

It is important, therefore, to assess facilities demand on the maximum population. If that demand does not materialise, it is easier to delete a facility such as a school site rather than try to retro-fit a site in the event that it is needed. A community development plan is discussed later.

The nature of the demographic/housing profile also has implications for the assessment of retail floor space demand. The Metropolitan Centres Policy suggests retail floor space should be provided at the ratio of 1.74m² per capita including 0.2m² per capita within the Perth CBD. "Suburban" space is, therefore, 1.54m² per capita.

The issue of absentee ownership needs to be balanced against the fact that Jurien Bay will be the main central place of a broad region and it can be expected that much of the higher order retail demand generated from this region will be attracted to Jurien Bay.

Bearing these factors in mind, it is estimated that retail floor space demand should, for structure plan purposes, be calculated at the ratio of 1.5m² per capita assuming an occupancy rate of 2.8 persons per dwelling. In addition, there will be demand as a result of tourist accommodation and caravan parks. Therefore, up to 40,000m² of retail floor space may ultimately be required with a substantial proportion of this potentially being added to the existing town centre.

Preliminary yields on a cell by cell basis follow in Table 5

Table 5 Preliminary Development Yields

Cell 1	1300 Lots 200 tourist beds Local commercial Primary School
Cell 2	1050 lots 200 caravan sites 150 tourist beds Local Commercial Primary School Part High School
Cell 3	75 lots 50 tourist beds General Commercial
Cell 4	2000 lots General commercial Primary School Local commercial 100 caravan sites
Cell 5	Medium density residential District Centre 400 tourist beds Primary School Institutional uses
Cell 6	1600 lots High School Local commercial

Cell 7	1800 lots Primary School Local commercial 300 tourist beds
Cell 8	1300 lots Primary School Local commercial 100 tourist beds 200 caravan sites

The Structure Plan provides approximately 1100 ha of gross urban land, 75 ha of mixed use, 130 ha of low-density rural/residential, 60 ha of highway commercial and 20 ha of public purposes excluding school sites. In addition, there are some 519 ha of conservation reserve on-site and a further 86 ha off-site with other areas shown in large open spaces, lagoons and district reserves.

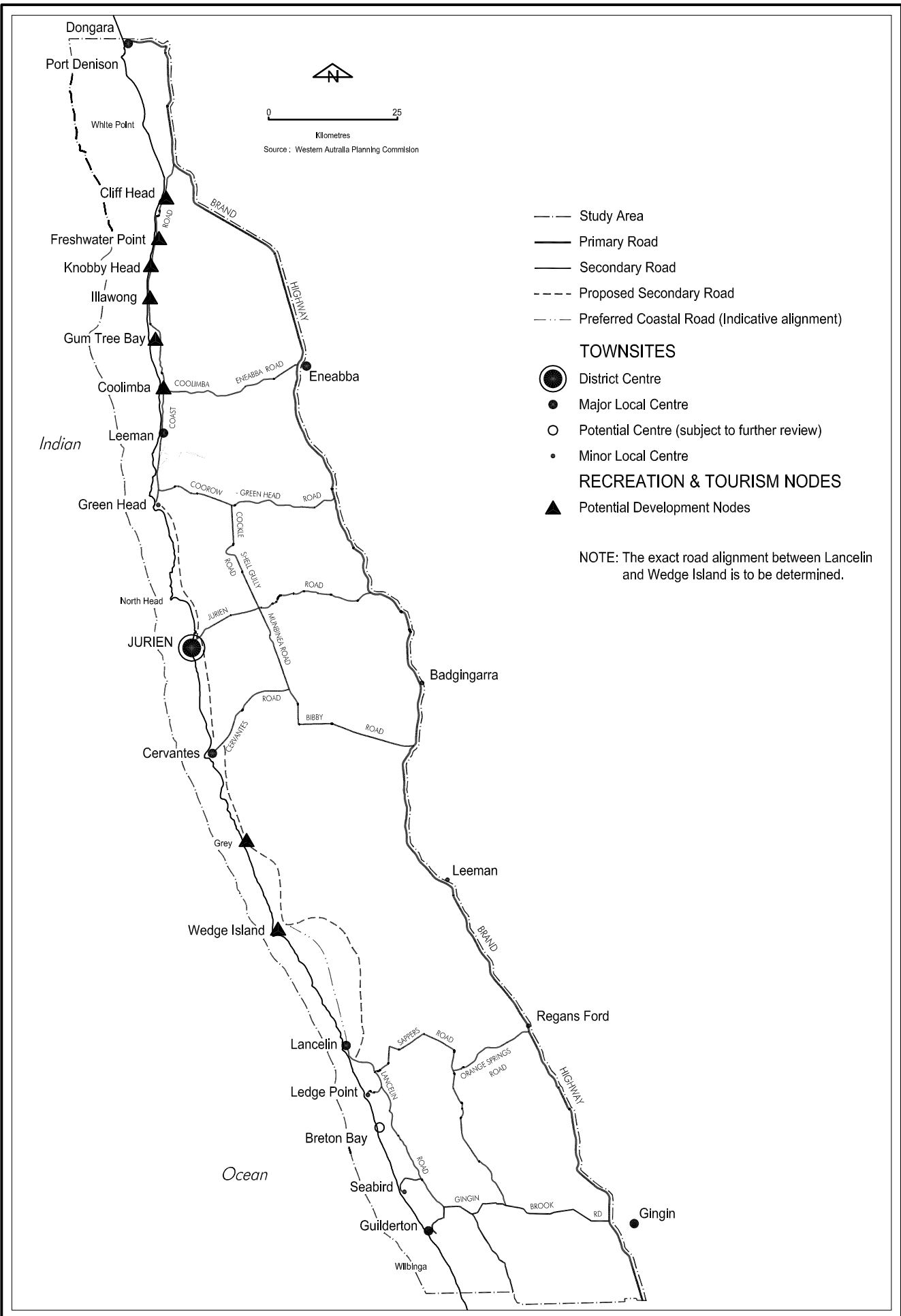
These areas are very approximate and will be refined in the detailed planning phases.

4.5 Commercial Centre Hierarchy

The Central Coast Regional Strategy establishes a proposed townsite hierarchy for the region showing Jurien Bay as the primary centre. **Figure 11** is a copy of the regional townsite hierarchy established under the Strategy.

The Turquoise Coast Structure Plan maintains the existing town centre as the major centre within the expanded Jurien Bay. In the terms used by the Metropolitan Centres Policy, this centre may be nominated as the “Regional Centre” in the three tiered hierarchy of:-

Regional Centre
District Centre
Local/Neighbourhood Centres



25mm at scale
 NOTES:

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TOWN PLANNERS
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 Fx: (08) 9324 1961
 email: mga@global.net.au

A4



0 Kilometres 25
 Scale 1:1,000,000

Date: 18 Nov 2003 Ref. 1919/03/centcoast4
 All dimensions and areas subject to survey

PROPOSED TOWNSITE HIERARCHY,
 CENTRAL COAST REGION
 Figure 11

Already, the Town Centre or Regional Centre is the location of the majority of the town's retail space, office uses, medical centre and the seat of local government. It is expected to continue to grow as the major retail, office, community and entertainment centre. Being the major aggregation of these facilities and services, it can also be expected to be a preferred location of tourist facilities including the provision of convention facilities and accommodation for business travellers.

Booka Valley is shown as a mixed use area and is expected to accommodate a range of functions, including commercial and community uses. The relationship of Booka Valley to the Jurien Bay Town Centre might best be described by drawing the parallel between the relationship of Scarborough Beach to the Perth CBD. Booka Valley is planned to be a District Centre just as Scarborough is in the Metropolitan Centres policy. It is proposed to provide for weekly retail needs such as food, groceries and general household needs but, in view of the coastal location and the potential for tourist activity, "festival" retailing, cafes/restaurants and other entertainment functions are possible.

The Booka Valley mixed use area is shown to be adjacent to an area of community uses. The type and scale of these community uses will need to be considered against the scale and function of the Regional Centre at the traditional Town Centre and Booka Valley's role as the District Centre.

Traditionally the town centre within a country town dominates in terms of retail/office development because of economies of scale from the supply side of service provision and the fact that until the town expands beyond a certain size, congestion and accessibility are never real factors in terms of convenience from the demand side. Accordingly, whereas neighbourhood centres in the metropolitan area may contain up to 4,500m² of retail space, in the context of Jurien Bay they are expected to be much smaller.

Local/Neighbourhood Centres are sited to take account of the “movement” economy as well as providing the focii for walkable neighbourhood catchments.

Figure 12 shows the location of the proposed Commercial centres and their positions within the commercial centres hierarchy.

4.6 COMMUNITY DEVELOPMENT

The Education Department’s advice dated 24 June 2002 at **Appendix 2**. The Department’s advice has been incorporated into the Structure Plan and is reflected in Table 5 listing recommended ratios between population and social infrastructure.

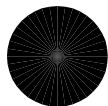
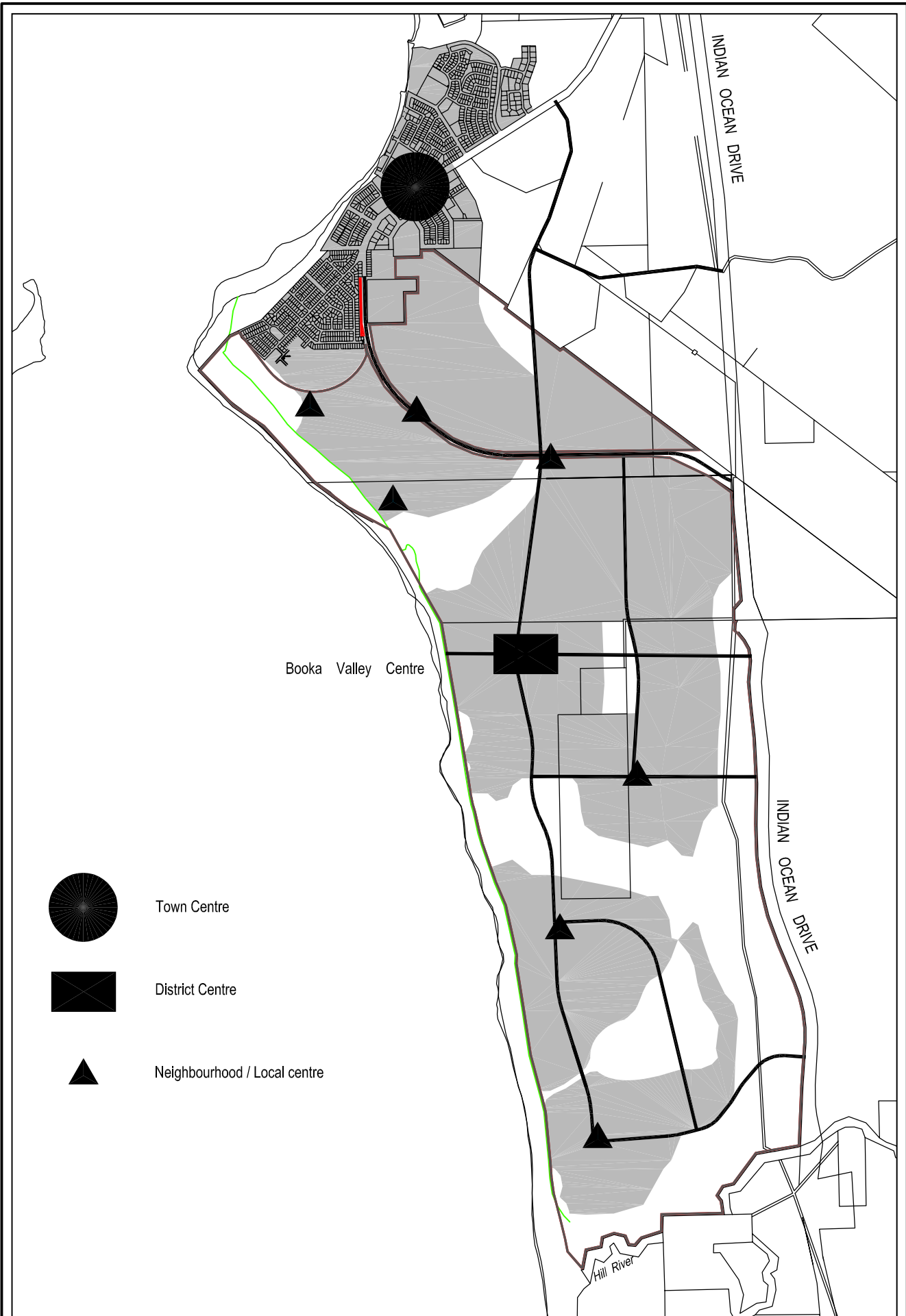
In view of Jurien Bay’s regional catchment, it is probable that private schools will establish in the town and given the particular characteristics of the area including the fishing industry, there may be potential for specialised tertiary campuses to develop.

Table 6 Recommended Ratios between Population and Social Infrastructure

FACILITY OR SERVICE	POPULATION RATIO	REC'D SITE AREA (Ha)	No. REQUIRED	PREFERRED LOCATION
<i>Education</i>				
Pre-School	4,000	.25	6	suburbs – quiet areas
Primary School (Govt)	5,000	3.5	6	suburbs near local park away from main roads
Full High School (Govt)	18,000	8	1.4	suburbs/public transport
Primary School (Catholic)	12,500	4	2	suburbs near local park
High School (Catholic)	37,500	8	1	suburbs/public transport
Primary School (Other)	20,000	4	1-2	suburbs
High School (Other)	50,000	8	0-1	suburbs/public transport
Technical College	60,000	15	1	central/public transport
TAFE/University	100,000	20/30		central/public transport

Table 6 Recommended Ratios between Population
(contd.) and Social Infrastructure

FACILITY OR SERVICE	POPULATION RATIO	REC'D SITE AREA (Ha)	No. REQUIRED	PREFERRED LOCATION
Community Facilities				
Child Care				local centre
Senior Citizens' Centre				suburban near transport
Neighbourhood Centre/Hall				neighbourhood centre
District Centre/Hall				district centre
Library				central and district
Youth Centre				district, central and mixed business
Community Information Centre				central
Churches				
Catholic	80,000	2.5	1	central
Anglican	30,000	0.5	1	suburbs
Uniting	20,000	0.5	1	suburbs
Other	30,000	0.5	1	suburbs
Health				
Doctor	1,500			shopping centre
Dentist	2,500			shopping centre
Child Health Centre	5,000			local centre
Community Health Centre	10,000			district centre
Hospital (beds)	3.5/1,000	3		central
Nursing Home (beds)	40/1,000 (70+)	0.4		central
Hostel (beds)	52/1,000 (70+)	0.4		central
Local Active Recreation				
Football/Cricket	2,500	3.2		
Rugby League	20,000	1.6		
Soccer	7,000	1.2		
Hockey	3,000	0.3		
Tennis/Netball	600	0.6		
Basketball	1,000			
Bowls	1,000			
Swimming Pool	17,500			1 at regional rec centre, others suburban
Squash	2,500			mixed business areas
Police	1 Officer/400			1 central, 1 suburban
Fire	50,000	0.3		central and mixed business/industry



Town Centre



District Centre



Neighbourhood / Local centre

25mm at scale

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email: mga@global.net.au



Scale 1:45,000

COMMERCIAL CENTRE HIERARCHY
TURQUOISE COAST DEVELOPMENT

Figure 12

A4



Date: 21 Nov. 03 Ref. 1919/03/hierarchy/A4PB

All dimensions and areas subject to survey

The Structure Plan sets aside area for public purpose/community uses to accommodate a range of these activities. In addition, it respects the facilities the community of Jurien Bay has worked to provide in the existing town centre and proposes that these facilities be supported in their existing locations and not replaced elsewhere in the development area.

In particular, these include the new Council offices, the new medical centre and the community and recreation centre.

4.7 EMPLOYMENT

The MOU requires that the Structure Plan make provision for 1.4 jobs per household, or a labourforce ratio of 50% of the total population of 25,000.

As discussed earlier, the current base industry at Jurien Bay is rock lobster fishing. Management of the fishery will not allow expansion and consequently, employment growth will be generated by other industries.

To this extent it is expected that tourism will become an alternative base industry, particularly following the completion of Indian Ocean Drive, and the Structure Plan provides for 1,400 tourist beds at Jurien Bay. ABS accommodation data indicates that 5-Star accommodation results in an employee to room ratio of 1.066 to one or 0.39 employees per bed. The ratio declines as the quality declines. However, across all standards of accommodation, the average ratio is around 0.2 employees per bed in Western Australia. 1,400 beds at Jurien Bay can therefore be expected to create around 280 direct jobs. Approximately double this number will likely be employed in cafes, restaurants, charters and tours, etc.

At 0.04 employees per square metre of retail floor space, the Plan provides for 1,600 jobs in the retail sector. Some 250 ha of industrial land is suggested in an expanded industrial area north of the Structure Plan area. At an average 20 workers per hectare, this area has capacity to employ 5,000 people including the 1,250 future jobs in manufacturing, and providing depots, etc for the 1,600 employed in construction.

As shown in Table 3, education and community services can be expected to employ around 7.3% of Jurien Bay's workforce of 12,500, or approximately 900 persons. Provision is made in the Plan for the necessary school sites.

50 hectares of land are set aside for highway commercial purposes which will be ideal for the accommodation of wholesale trades employing around 5.7% of the workforce, or 700 persons.

Around 20% of the workforce can be expected to be employed in finance, insurance, property, services, communications and administration.

There is potential to accommodate offices in an expansion of the existing town centre as well as the large mixed use area at Booka Valley. Other smaller categories of employment can be accommodated in the mixed use area, the expanded town centre, residential areas and neighbourhood centres such as personal services (eg hairdressers, etc).

Land is also set aside to accommodate the 9% to 10% of workers who will be engaged in the health industry. Whilst fishing may not grow significantly, employment growth in primary industries can be anticipated. There is potential for a viticulture industry near Jurien Bay, east of Munbinea Road. The expanding population and tourist market will create opportunities in horticulture and other specialised areas of primary industry such as honey production and the development of byproducts. These will be accommodated in the surrounding rural areas.

In summary, the Structure Plan makes adequate provision for 1.4 employees per household.

4.8 SERVICES

4.8.1 *Power*

Western Power advised in 1996 that capacity within the system existing at that time would allow an additional 300 lots (approximately). A minor system upgrade including the installation of a regulator would expand capacity by a further 900 lots.

Beyond these additional 1200 lots, a substantial upgrade of the distribution system from Cataby is required.

4.8.2 *Water Management Plan*

Framework for development of a Water Management Plan

The EPA provided advice to Ardross Estates, Turquoise Coast Development, Jurien Bay under section 16j (Bulletin 1031). This advice included the requirement to prepare a Water Management Plan (WMP) to the satisfaction of the relevant Authorities.

The Water Corporation is preparing the WMP which will incorporate the Jurien townsite. The WMP is being undertaken using a staged approach. The overall objectives of the Water Management Plan are outlined in this section and provides support for the Structure Plan. The water management planning process will guide sustainable water cycle management for full development of the site.

The Water Management Plan will encompass planning for both the sustainable provision of water for the development, and the necessary return of wastewater and stormwater to the environment. Planning for whole of water cycle management at the Structure Planning stage:

- ensures the early identification of water management strategies;

- provides adequate lead time for the collection of pre-, during- and post-development monitoring;
- identifies responsibilities for collection and analysis of monitoring data; and
- provides a guiding framework for the provision of water, wastewater and storm water services.

The EPA's expectation is that the Water Management Plan will identify the location of any major facilities for stormwater management and water supply (if on-site) and any multi-purpose corridors to be used for stormwater. It is also required that at the Structure Plan stage, it be shown that there are practical locations and methods available for treated wastewater management that are environmentally sound.

Key Environments

Key environments relevant to water management planning for this development include:

- known Cave Systems;
- groundwater dependent ecosystems in the area of influence of the potential borefield/s;
- wetlands in the development area;
- the Hill River; and
- the (Proposed) Jurien Bay Marine Park.

Investigation program

As part of the Water Management Plan, the Water Corporation has initiated a series of monitoring and modelling exercises to provide technical input to the development and assessment of water source development options and drainage and wastewater management strategies. These investigations are summarised in Table 7

Table 7

	Water source development	Wastewater management	Stormwater management
Monitoring & Investigations	Groundwater monitoring program		
	Drilling and testing program	Hill River sampling	
	Groundwater-dependent Ecosystems	Marine water quality monitoring	
		Infiltration testing	Wetland investigation
Modelling	Regional groundwater model	Local groundwater model	
		Oceanographic modelling	

The groundwater monitoring program provides input to the groundwater model, both in terms of the hydraulic characteristics of the aquifer and the baseline groundwater quality. The local groundwater model will be used to test a number of scenarios for wastewater and drainage management. Outputs from this scenario modelling will include:

- the post-development water table elevation; and
- the post-development nutrient and water fluxes at the coastline.

Nutrient & water volume fluxes at the coast will be input to the oceanographic model to determine the likely impact of different scenarios on water quality in the marine waters.

a) Demand Management

The WMP will address water use efficiency measures, both within and outside the house, with the aim to reduce demand accompanied with high level customer service. The installation of water efficient appliances will be strongly promoted. Detailed Development Plans (neighbourhood structure plans) will examine the prospects of reducing household water demand through landscaping guidance and possibly recycling. The potential for recycling will include an examination of groundwater recharge by wastewater disposal and abstraction of public space reticulation.

b) *Water Supply*

The Water Corporation currently supplies the existing settlement of Jurien Bay with reticulated water. This system is fed from a borefield developed to the north-east of the town.

In recognition of Jurien Bay's intended status under the Central Coast Regional Strategy, the Corporation has embarked upon the preparation of a Total Water Management Plan including the identification of potable groundwater resources capable of servicing the expanded Jurien Bay.

A comprehensive drilling and testing program has been undertaken near Jurien. Hydrogeological interpretations and preparation of a regional groundwater model is underway.

Water resources remain to be allocated between the environment, public drinking/domestic supplies and other beneficial uses. This allocation exercise will be the subject of negotiation with the Water and Rivers Commission to confirm the supply available to the town's development.

The water supply system proposed for the Turquoise Coast development is an expansion of the existing system which, in addition to the borefield, comprises storage tanks on elevated land. The land levels of the tank site(s) enables the town to be reticulated by gravity feed. Pipe systems will need to be upgraded along with supply tanks to service the new development.

c) *Wastewater Management*

Approximately 10% of Jurien Bay is currently deep seweraged. There are no infill sewerage projects scheduled for the existing townsite. Wastewater from sewer connections gravitates to pumping stations, and is then pumped to a treatment plant situated to the east of the town. The existing wastewater treatment plant has the capacity to serve an additional 150 lots.

The wastewater treatment plant is capable of being upgraded to provide additional capacity but ultimately a new treatment facility will be required. Potential site assessments are occurring as part of the Total Water Management Plan. Potential sites include the existing wastewater treatment plant site, land owned by Ardross

Estates to the east of Indian Ocean Drive and Crown land adjacent to the existing site.

Buffer requirements are dependent upon the size of the wastewater treatment plant and the treatment technology. A buffer distance of 800m is generally recommended for a wastewater treatment plant of the capacity ultimately required. Final determination of buffer distance would require odour modelling in order to demonstrate acceptable odour levels outside this zone. The structure plan will be revised to reflect the final wastewater treatment plant site selection and buffer requirements upon completion of the WMP. The structure plan will provide for compatible land uses within the buffer area.

It is anticipated that the reticulation system will comprise a series of catchments gravitating into pumping stations that discharge to the wastewater treatment plant.

As part of the Water Management Plan the Water Corporation is investigating a range of treated wastewater management options, including groundwater recharge via infiltration of treated wastewater to the superficial aquifer. There may then be opportunity for indirect reuse of the treated wastewater on reserves and other public spaces.

d) *Drainage*

The Water Management Plan will address both the management of water quantity to provide protection from flooding, and the management of water quantity and water quality to protect receiving environments.

Managing water quantity

The specific objective of water quantity management is to achieve a post-development water regime that resembles, as closely as possible, the natural water regime. Infiltration of stormwater as near as possible to source (ie. where the rain falls) is the primary mechanism that is being considered in the Water Management Plan to achieve this objective. The high transmissivity of the aquifer in the development area provides preliminary evidence that this strategy is practical for the Turquoise Coast Development.

An alternative road design has been proposed for residential streets to achieve the aim of infiltrating at source. A suggested cross-section is shown in **Figure 13**. This layout accommodates footpaths and a narrow strip for Telecom and Western Power services adjacent to property boundaries, with the remainder of the “nature strip” to be contained within a central median. The central median can be used as a drainage swale, with paved surfaces to either side of the median graded down to the centre of the median to accommodate stormwater run-off in the swale where infiltration commences. Under this model, stormwater quantity would be managed via infiltration swales distributed throughout the development area, obviating the need for both piped drainage and infiltration basins at regular intervals.

Major storm events can be accommodated by allowing the swale drains to ultimately connect with larger areas of open space and if necessary, for these open spaces to be flooded on rare occasions. Calculations by Sinclair Knight Merz indicate that the swales could have capacity to between 150% and 200% of the run-off from a 1 in 100 year storm event of 10 hour duration. The ultimate storage capacity is dependent on the design details for the swale drain system.

It is noted that the Turquoise Coast development is very large and consequently likely to accommodate a variety of development styles. The treatment discussed above may be varied to meet different market demands and for more intense development. Community preferences, particularly those of permanent residents may necessitate a more traditional style of development, including street design with grassed verges and a single carriageway for traffic. Even in these circumstances, it is intended to maintain the principle of commencing infiltration close to the source of storm water.

Figure 14 illustrates a combination of central swale drains in road reserves with traditional street designs. It is common practice for run-off from a road surface to be accommodated on the surface within the gutter to either side of a road pavement for a distance of up to around 100 metres before the run-off drains through a gully into a piped system.

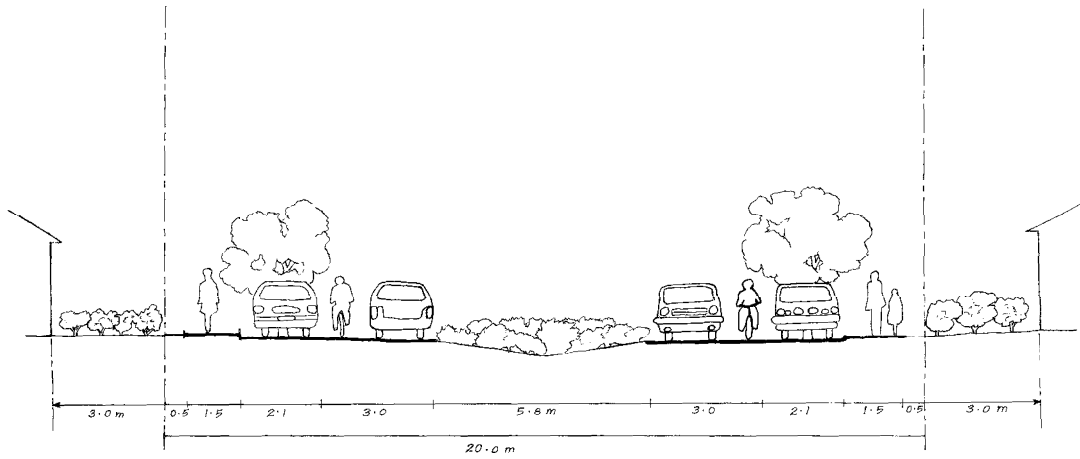


FIGURE 13. TYPICAL ROAD CROSS-SECTION

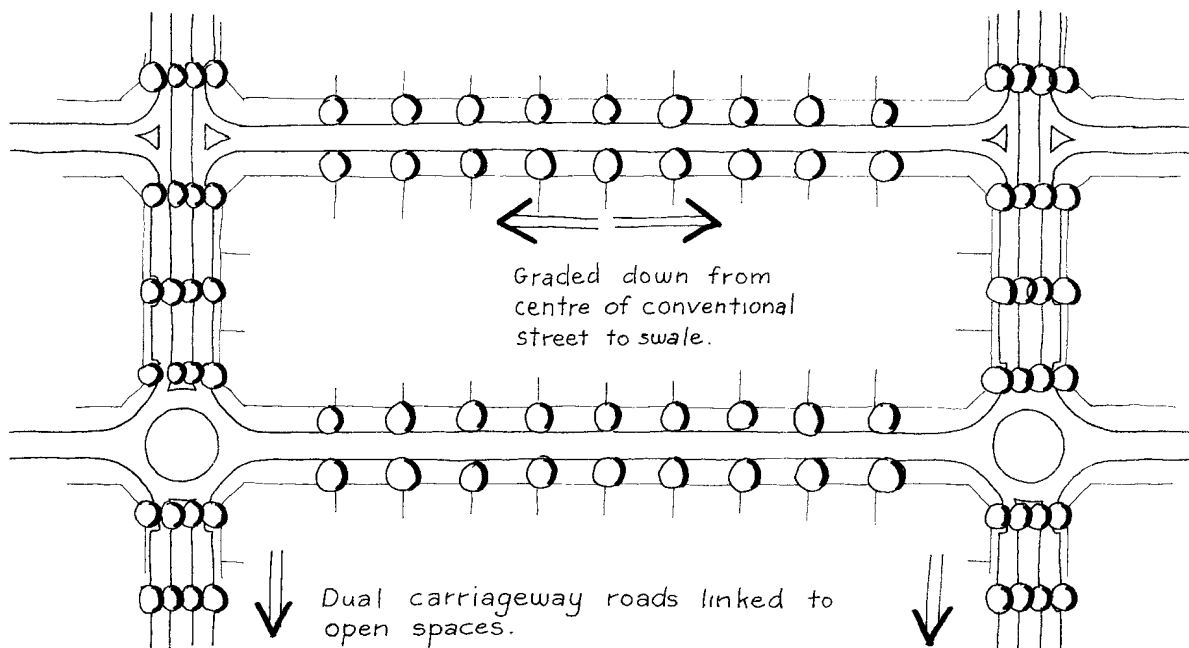
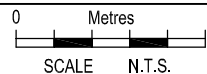


FIGURE 14 COMBINATION OF CONVENTIONAL ROAD DESIGN WITH SWALE DRAIN

Notes/Revisions



Date : 22 May 2002 Ref: 1919/crnt/May2002/11&12

ROAD DRAINAGE DETAILS

Figures 13 and 14

By placing roads with central swales 200 metres apart and grading “traditional” streets between down to the non-traditional, dual carriageway roads, all drainage can be handled on the surface and infiltration commenced within approximately 100 m of source. The dual carriageway roads incorporating the swale drains would need to connect to open spaces capable of accommodating major storm events, consistent with the technique described earlier.

In areas of intensive development such as commercial precincts and localities of high residential density, the alternative road layout shown in Figure 13 may be modified to incorporate infiltration swales on either one or both side/s of the road. Alternatively, innovations can be employed, even with piped drainage systems, to commence infiltration virtually at source. Soakage can be encouraged within the piped system and basins incorporated into landscaping associated with the more intensive development.

Areas of intensive development will, however, comprise relatively small portions of the overall development at no more than 2% of the total area.

From a planning perspective, the approach to storm water management involves integration with urban design. Proposed road treatments create storm water disposal options in a way that suits the physical environment of the area. Use of heath vegetation enhances the coastal character of the development, extending the beach side ambience into residential areas located behind the beachfront. It also minimises maintenance on housing lots, a high proportion of which are likely to be under absentee ownership. The technique illustrated and described here, of integrating road design with heath vegetation and swale drains facilitates storm water infiltration virtually at source, consistent with water sensitive urban design. The alternative treatments for more conventional style street systems and areas of intensive development are founded on the same principles.

Managing water quality

The Water Management Plan will reflect the Water and Rivers Commission's current approach to managing water quality for urban drainage. This approach places an emphasis on source control and water sensitive urban design (of which at-source infiltration forms a key component).

The application of fertiliser to parks and gardens, both public and private, is a diffuse source of nutrients to the groundwater underlying an urban development. Elevated nutrient concentrations in groundwater have the potential to impact on down-gradient environments, for example wetland and marine ecosystems. Native landscaping treatments provide an opportunity to reduce nutrient inputs. The Water Corporation is working closely with Ardross Estates to pursue landscaping strategies that demand both low water requirements and minimal fertiliser application. From a planning perspective, low-maintenance gardens are consistent with Jurien Bay's character as a holiday town and the high degree of absentee ownership expected. The proposed road design presented in Figure 13 is consistent with source control of nutrients. The design avoids verges, and thus overcomes the need for street lawns that require watering and fertilising, whilst also incorporating native heath vegetation in the central swale area.

It is anticipated that an education program aimed at preserving water resources and minimising nutrient inputs will be integral to the long-term success of source control. The proposed Jurien Bay Marine Park would provide a clear focus for a successful education program aimed at linking planting choices to moderated watering and fertiliser applications. There are many avenues through which community education can be facilitated. These include, but may not be limited to, material provided at the point of land sale, public notices at appropriate locations such as libraries, schools and community facilities, and possibly brochures attached to rate notices.

4.9 TRANSPORT

4.9.1 *Private Car Traffic*

Sinclair Knight Merz have forecast likely traffic volumes for the major road system within the Structure Plan, and reported as follows :

a) **Road Network**

There are five accesses from the Structure Plan area directly onto Indian Ocean Drive. These are shown on **Figure 15** – Structure Plan and are described as follows:

Access 1

This is the southernmost access and is located south of Cell 8.

Access 2

This is the next access from the south and is located south of Cell 6.

Access 3

This is the middle access and is located north of Cell 9. It is noted that the road link shown north of this is an existing road reserve and therefore, is not proposed to connect to Indian Ocean Drive.

Access 4

This is the existing access to Jurien Bay from the south and is located north of Cell 4.

Access 5

In the ultimate design where the existing Indian Ocean Drive alignment is extended northwards to bypass Jurien Bay, an access is proposed to the north of Cell 3.

As can be seen in Figure 15, there is a north south road link which runs from Access 1 to the northern end of the structure plan area connecting to the existing Bashford Street.

b) Traffic Forecast Assessment and Recommended Road Network

(i) Forecast Traffic Volumes and Road Hierarchy

The development is expected to generate approximately 55,000 to 65,000 vehicle trips per day (vpd). The internal trip productions are expected to generate in the order of 55,400 vpd and the total internal trip attractions are expected to generate in the order of 67,500 vpd.

These trips have been assigned to determine the daily traffic volume on the local road network (refer Figure 15). All of the forecast volumes are capable of being accommodated within the Liveable Neighbourhoods design profile for a District Distributor Integrator B.

(ii) Recommendations for Road Infrastructure

The key intersections and the appropriate recommended intersection treatment are shown in **Table 8**.

Table 8 Treatments at Key Intersections

INTERSECTION	RECOMMENDED INTERSECTION TREATMENT
Access 1/ Indian Ocean Drive	Traffic Signals*
New Access 2/ Indian Ocean Drive	Traffic Signals*
Access 3/ Indian Ocean Drive	Traffic Signals
Access 4/ Indian Ocean Drive	Traffic Signals
Access 5/ Indian Ocean Drive	Traffic Signals*
North south 1/ east west 1	Traffic Signals (large pedestrian flows)
North south 1/ east west 2 (existing)	Traffic Signals
North south 1 / east west 3	Traffic Signals (trucks for industrial area)
North south 1 / Bashford Street (existing)	Traffic Signals (trucks for industrial area)

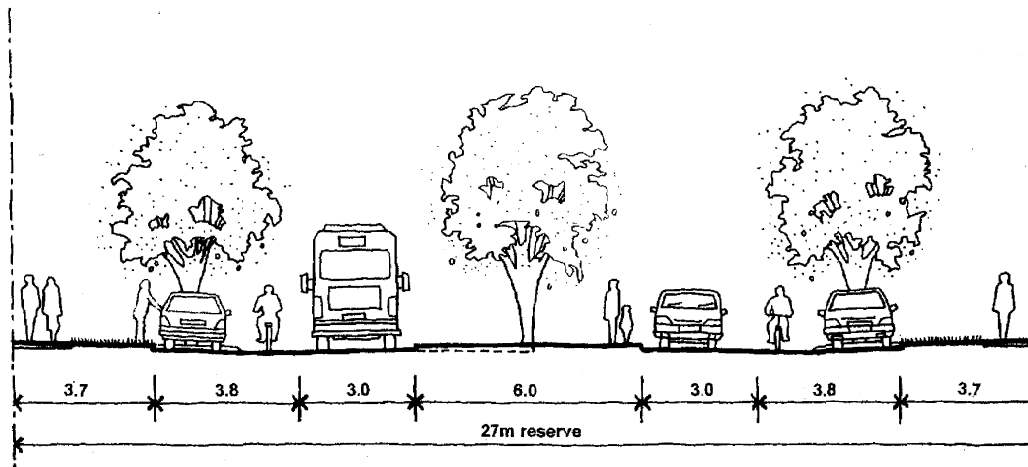
**Those intersections marked with an asterisk could be formed as roundabouts, however, this would depend on the design philosophy adopted for Indian Ocean Drive.*

The recommended road reserve width for the District Distributor Integrator B roads would be 27m. The cross section for a District Distributor Integrator B is shown in the attached extract from Liveable Neighbourhood guidelines (**Figure 16**).

This incorporates one traffic lane in each direction with a shared parking and cycle lane. There is a 6m median which allows for turning lanes and for additional lanes to be formed at signalised intersections.

This report has made recommendations for the required infrastructure for the draft structure plan area based on the forecast traffic volumes for the local road network.

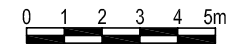
Horizontal and vertical alignments, intersection geometry and sightlines may have implications on the proposed road infrastructure and therefore must be given further consideration at the future design stages.



District Distributor Integrator B

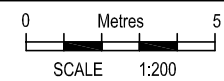
(under 15,000 vpd, 2 lanes with central median & parking bays)

Note: Central median may be reduced along sections of the route where right turns are not required.



Notes/Revisions

Source: Liveable Neighbourhoods



Date : 24 Nov 2003 Ref.1919/cmt/X-section/xs

District Distributor Integrator B
Typical Cross-section
Figure 16

- c) A requirement of the MOU is that average personal car trips should not exceed 7.5 kms per trip. It is planned that a high proportion of local trips will be by bicycle. Car trips are primarily going to be used for accessing district destinations.

It would be unusual that many routes to district scale destinations would be direct, and it can normally be anticipated that several directional changes will be required. Taking these route factors into account suggests that a 5 km radius is more appropriate as an accessibility and trip length test than a 7.5 km radius.


Figure 17 therefore scribes 5 km radii around the existing Jurien Bay town centre, the proposed extended industrial area, the highway commercial area and the Booka Valley regional beach and mixed use area. It can be seen that in each case the radii around each of these primary district scale targets incorporates more than half (and in some cases nearly all) of the proposed urban land. It follows from this analysis that average personal car trips will indeed be less than 7.5 kms.

4.9.2 *Public Transport*

Amongst the possible outcomes arising from the workshop in January/February 2002 was the proposal for a light rail system to service public transport needs at Jurien Bay. Certainly this proposal is a lot more evocative than a standard bus system and from a marketing perspective, has appeal.

This option has, therefore, been considered and discounted for economic and logistical reasons. All of the expert advice suggests that a community like Jurien Bay with a relatively small population achieved over a comparatively long time frame could not justify a light rail system.



<p>Notes/Revisions</p>		<p>0 Metres 1500</p> <p>SCALE 1:60,000</p> <p>Date : 24 Nov. 2003 Ref. 1919/crnt/14Nov03-struct/trav</p>	<p>AVERAGE TRIP LENGTH DIAGRAM JURIEN BAY Figure 17</p>
<p>Mitchell Goff and Associates</p>		<p>Town and Regional Planners Tel. (08) 9321 3011 Fax (08) 9324 1961</p>	

A bus service therefore has been included to provide the best and most practical means of public transport. Bus route design adopts a pedestrian catchment range of around 400 metres or a 5 minute walk. **Figure 18** shows how the proposed distributor road system provides a high degree of accessibility to public transport within the Structure Plan.

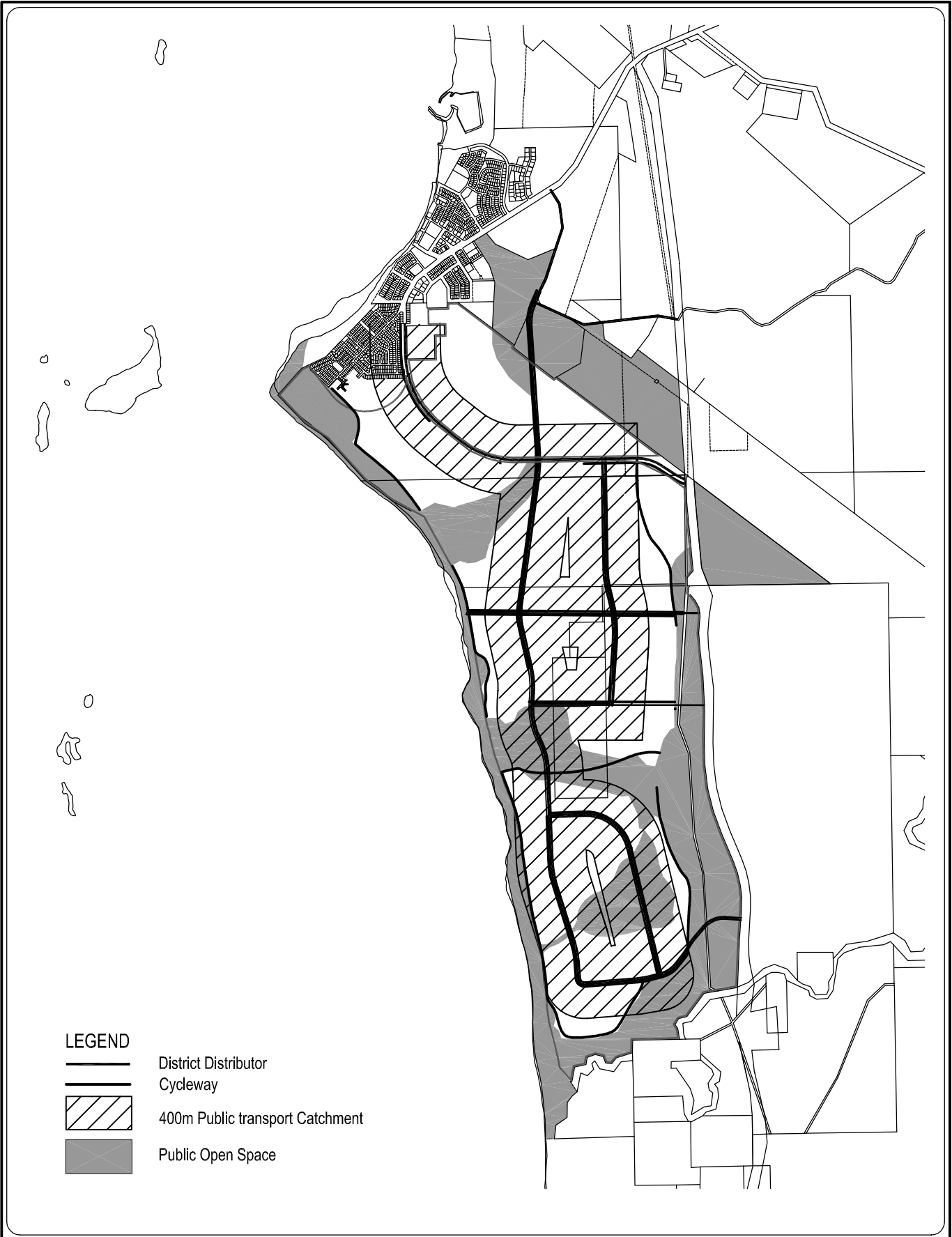
4.9.3 *Pedestrian / Cycle Movement*

It is proposed to adopt many of the features of Liveable Neighbourhoods in the more detailed planning phases of this project. These will include permeable street systems and road designs providing for cyclist traffic, particularly in the instance of distributor roads.

The flat landscape, nodal form of development and positioning of facilities such as neighbourhood centres make cycling a preferred form of local transport to be specifically encouraged through community education and promotion. It is also believed that the residential street design will encourage cycling in that the proposed median strips/swale drains will effectively narrow the bitumen or driving corridor, bringing about a reduction in traffic speeds. Cyclists sharing the roadway with vehicles will tend to “intimidate” car drivers, rather than the other way around.

In general, the primary cycleway system will follow the distributor roads, coastline, Hill River foreshore reserve and major open spaces. Primary cycle routes are shown on Figure 18.

The street system and provision of paths, usually on both sides of roads including residential streets, will accommodate and encourage pedestrians. Again, appropriate siting of neighbourhood centres encourages pedestrian activity.



LEGEND

-  District Distributor
-  Cycleway
-  400m Public transport Catchment
-  Public Open Space

Notes/Revisions



0 Metres 1500
SCALE 1:60,000

Date : 24 Nov 2003 Ref: 1919/cmt/14Nov03-struct/tran

**BUS ROUTES AND CYCLEWAYS
JURIEN BAY
Figure 18**

The Plan shows neighbourhood centres at strategic locations on the distributor road network as required by the MOU. These are located to take advantage of the “movement economy”. Neighbourhood/local centres are also located to serve walkover catchments of approximately 450 metre radii. These catchment boundaries are indicated on the Structure Plan as “ped sheds”.

The 450 m radius approximates a 5 minute walk with the centre acting as a community focus comprising a compatible mix of uses providing for a variety of daily needs. The preferred location for the centre is at the intersection of important local streets, particularly where there is public transport. Interconnecting streets and strong links between neighbourhood/local centres and the town centre provide good accessibility, route choice and a pleasant, safe and efficient environment for pedestrian/cycle traffic.

Not all residential land is contained within a ped shed and to some degree this accommodates the likely higher than normal proportion of absentee owners expected at Jurien Bay.

4.10 SOLID WASTE DISPOSAL

The Dandaragan Shire Council currently provides a rubbish collection service disposing of waste in a landfill site off Canover Road. The site has capacity to accept waste for a further 10 years.

Council has recently received a Waste Management Review which recommends that in the longer term there should be a regional landfill facility near Badgingarra along the Brand Highway corridor. This would potentially also serve the Shire of Gingin and Moora.

4.11 COASTAL SETBACKS

Statement of Planning Policy 2.6 prescribes a formula for calculating minimum coastal setbacks for development. These setbacks are shown on **Figure 19** in respect of the Structure Plan. More detailed planning at the Development Plan stage will address requirements for landscape/visual amenity, ecological values, recreational requirements and public access.

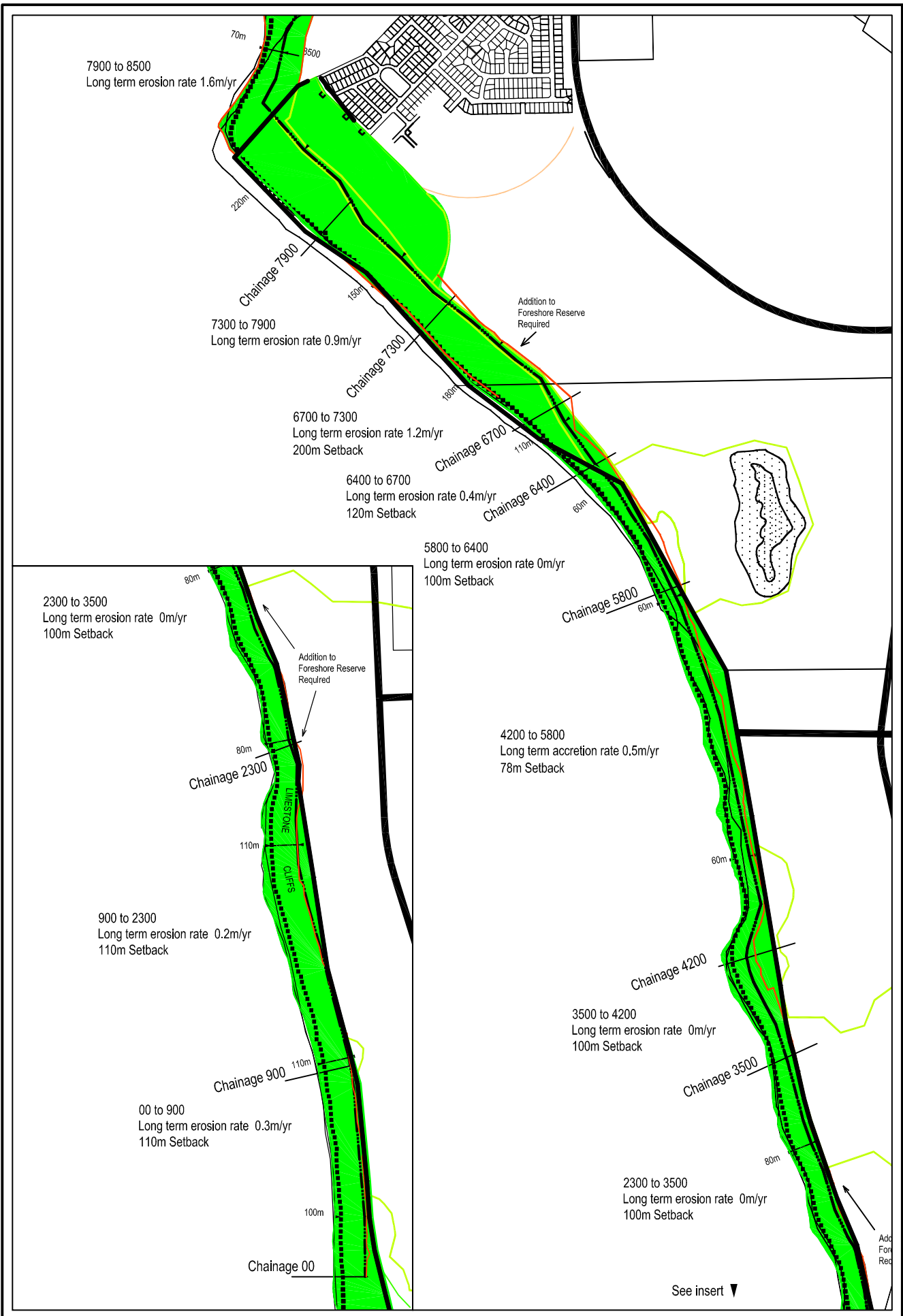
5. IMPLEMENTATION

Preparation of this Structure Plan is part of a tiered planning approach. The proposals of this Structure Plan cannot be implemented until more detailed local structure plans or Development Plans have been prepared and approved. Detailed proposals within the Development Plan will be guided by this Structure Plan.

It is envisaged that Cells 1 and 2 will be the first to be covered by Development Plans and to be the sites of initial development. They are clearly the logical development fronts from the point of view of servicing and the anticipated staging program will help achieve the aim of integrating the new development with the existing township. Conventional residential development is to be staged so that it occurs progressively southwards from the existing Jurien Bay settlement.

Depending on demands for alternative lifestyle, development may also occur relatively early within Cell 3, a proposed low density cell linked to possible equestrian/recreational opportunities within the stock route reserve. Pressure for resort accommodation at Booka Valley may also accelerate planning and development within the cells at Booka Valley.

Booka Valley's development as a mixed use area incorporating a district centre will have to be staged to reflect population growth. Development of this centre is unlikely to be justified until Jurien Bay's population approaches 12,500 persons.



NOTES: 25mm at scale

- Water Line
- Recommended Minimum Set-back to Development Rogers 1999
- 1998 Vegetation Line
- Existing Property Line
- Setback in accordance with SPP 2.6

MGA
TOWN PLANNERS

Ph: (08) 9321 3011
Fx: (08) 9324 1961
email: mga@global.net.au

A4

0 Metres 550

Scale 1:22,000

Date: 24 Nov. 2003 Ref. 1919/03/21Nov03/coast

All dimensions and areas subject to survey

**COASTAL FORESHORE RESERVE
ON STRUCTURE PLAN
For ARDROSS ESTATES PTY LTD**

APPENDIX 1

Contact: Kaylene Carter
Phone: +61 8 9432 5100
Fax: +61 8 9430 5408
email: kaylenc@calm.wa.gov.au

Mitchell Goff & Associates
26 Mayfair Street
WEST PERTH WA 6005

Dear Sir

RE: ARDROSS ESTATES PTY LTD – SEAWATER LAGOONS, JURIEN BAY

Thank you for your correspondence of the 10 May 2002 requesting advice from the Marine Parks and Reserves Authority (MPRA) on the above proposal.

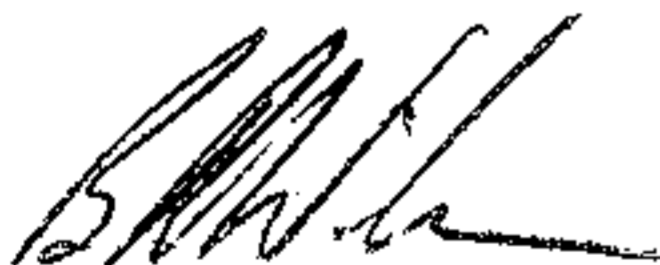
The MPRA considered your proposal at its May meeting 2002 and it would have no objection in principle to the proposed development providing it complied with the management objectives, zoning and targets outlined in the *Indicative Management Plan for the Proposed Jurien Bay Marine Park*. Specifically the discharge from the seawater lagoon pipes should not affect the ecological (i.e. diversity and abundance of flora and fauna) and social (i.e. water sports, fishing, tourism, amenity) values of the proposed Marine Park.

Similarly the amenity value of the beach and shoreline should not be significantly compromised by the intake and outflow seawater pipes.

However, this agreement in principle should not be construed as advance approval of the project which will need to go through the normal assessment process whereby the MPRA will have an opportunity to consider the detail.

The MPRA appreciates the opportunity to comment on this proposal and is keen to be kept informed of progress.

Yours sincerely

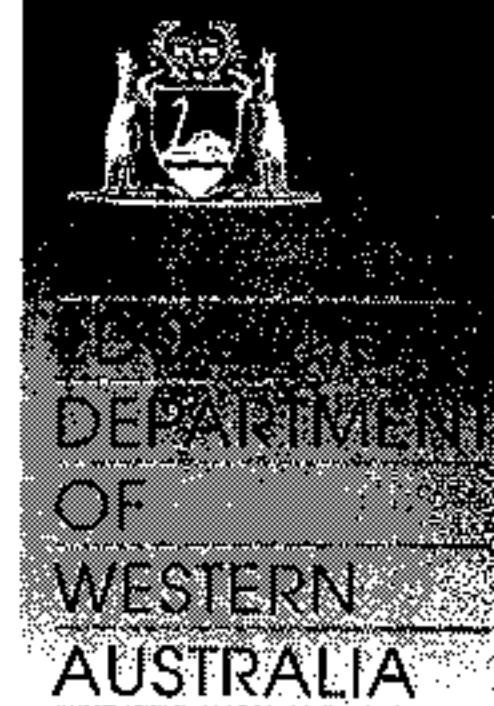


Dr Barry Wilson
Chair
WA Marine Parks & Reserves Authority

07 June 2002

APPENDIX 2

Your Ref.
Our Ref. 055193 – DO02/089872
Enquiries J Moore
Branch Asset Services



151 ROYAL STREET
EAST PERTH WA 6004
TELEPHONE (08) 9264 4111
FACSIMILE (08) 9264 5005
TTY (08) 9264 4641

Mr P Goff
Mitchell Goff and Associates
Town Planning Consultants
PO Box 104
WEST PERTH WA 6872

Dear Mr Goff

Thank you for your letter dated 13 June 2002 and enclosed copy of the draft structure plan for the Jurien Bay area.


I understand that you met with John Moore of the Asset Services Branch of the Department of Education on 21 June 2002 and discussed the future need for primary and secondary school sites within the area covered by the draft structure plan.

Please find enclosed a copy of the structure plan showing the proposed optimum locations of government primary and secondary school sites expected to be required in this area, based on the information that you provided and current Department of Education school site criteria.

As shown on the enclosed plan, an additional four hectares will need to be added to the existing district high school site to enable a 10 hectare secondary school site to be formed. A four hectare primary school site is shown abutting this secondary school site.

Should you require more information regarding this matter, please contact John Moore at the Asset Services Branch on 9264 4426.

Yours sincerely




JOHN NICHOLAS
MANAGER
ASSET SERVICES

24 June 2002

VESTAS WIND SYSTEMS A/S

Parron Farm Measurement Campaign Specification

Document revisions

Revision:	Date:	Changed by:	Changed page:	Description of change:
0	01/05/2024	MCPER	All	New document
		This document is the property of Vestas.		

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1 Introduction

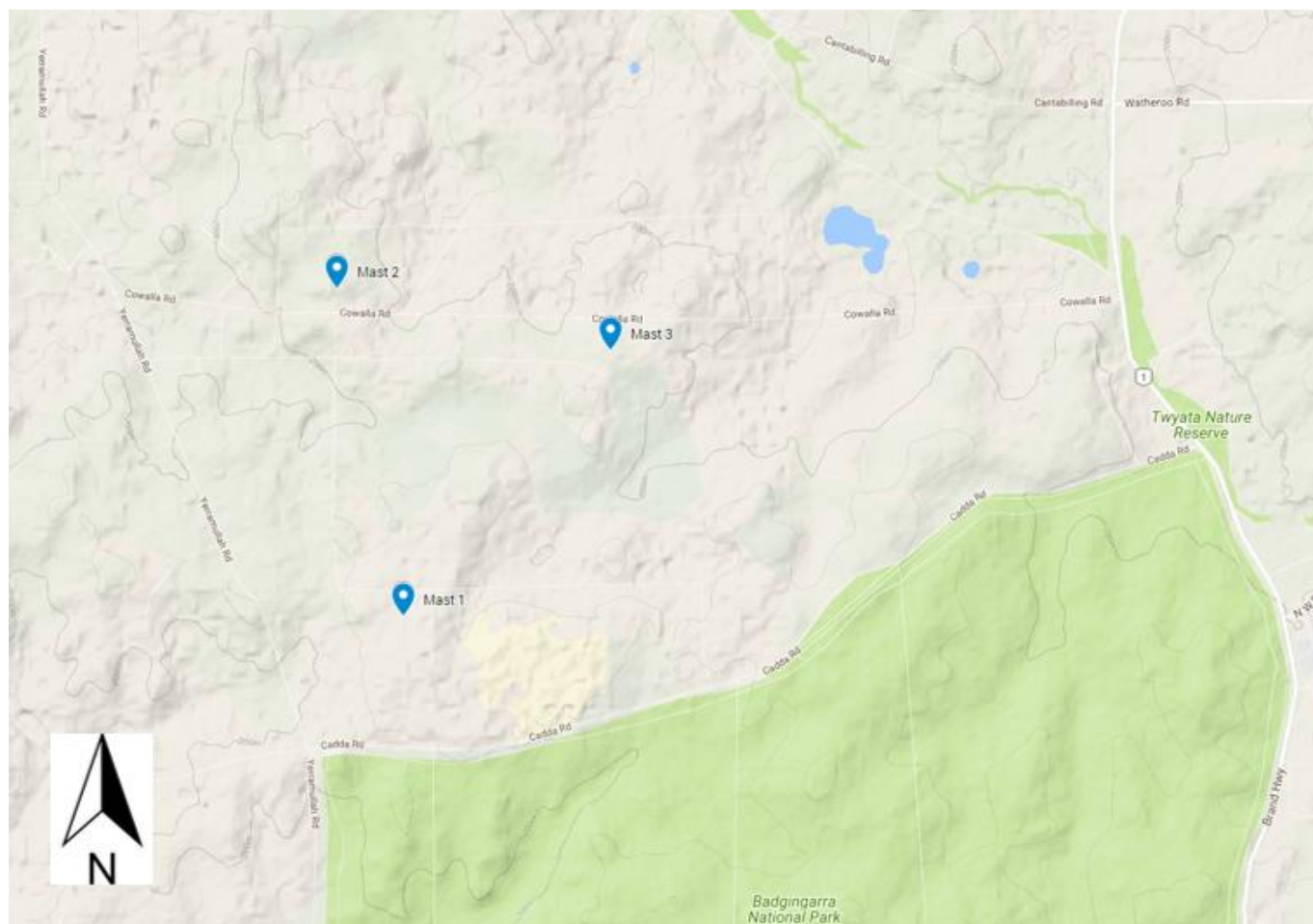
The purpose of this document is to recommend a measurement campaign based on the industry best practices for the placement and installation of meteorological masts to reduce uncertainty during wind data collection procedures. A minimum of 1 year of measurements are required in order to gain a full understanding of the wind due to seasonal/annual variation. Standards and guidelines with regards to power curve verification are not required to be included in this specification.

1.1 Proposed Mast Locations

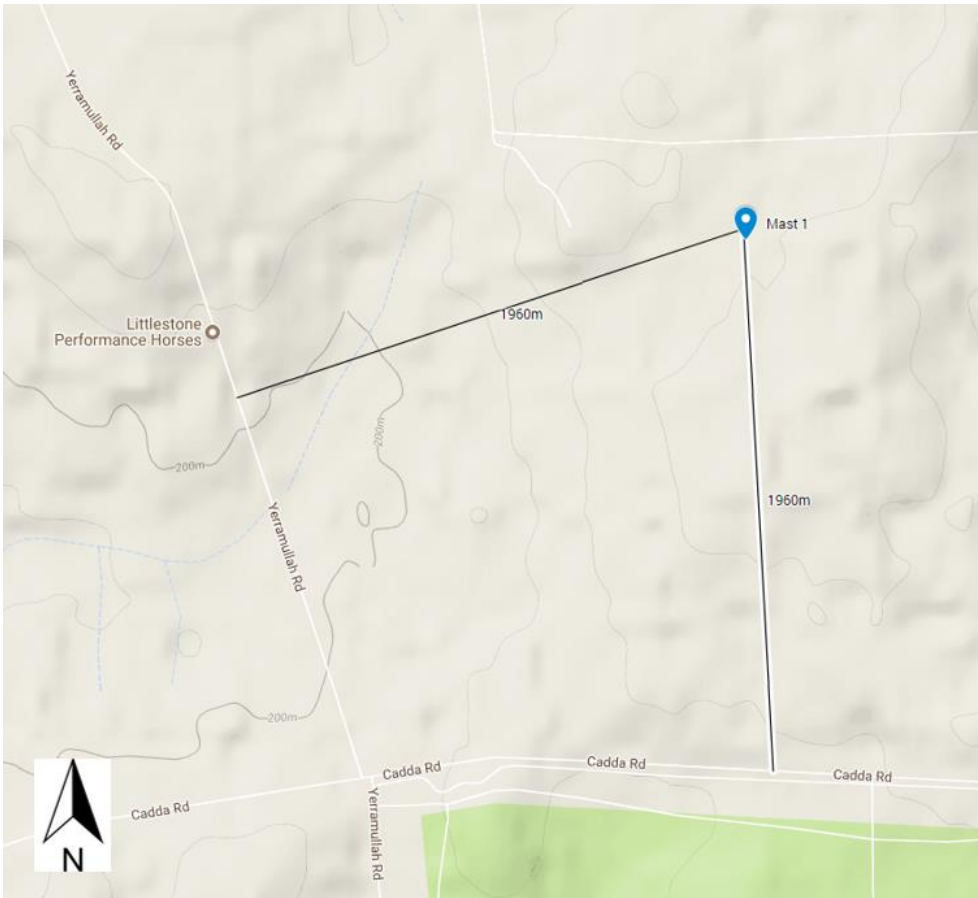
The coordinates for all masts are detailed in Table 1 below:

Mast Name	Longitude	Latitude
Mast 1	115.362559°	-30.386877°
Mast 2	115.352582°	-30.343903°
Mast 3	115.394209°	-30.352055°

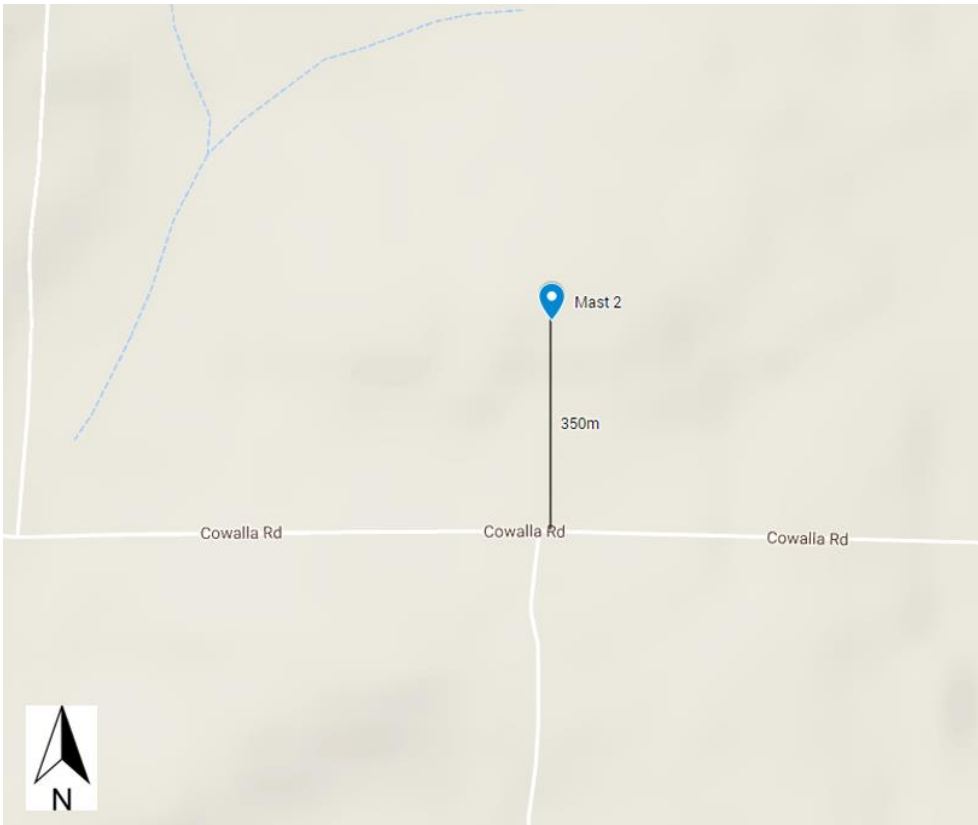
Table 1 – Met Mast Locations



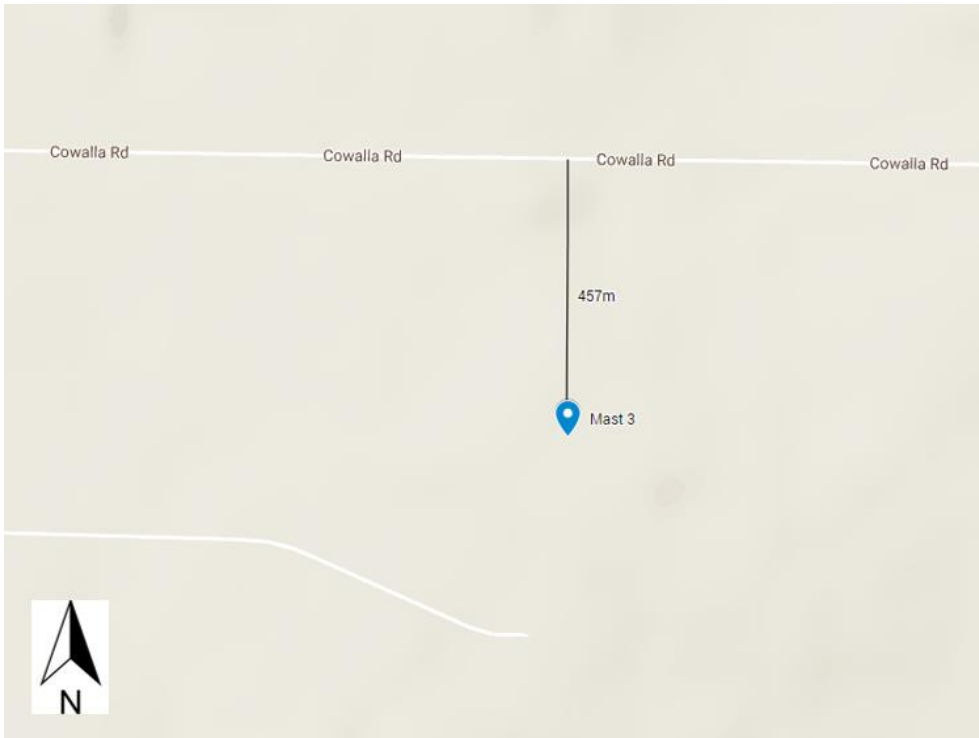
Map 1 – Met Mast Locations



Map 2 – Mast 1 location.

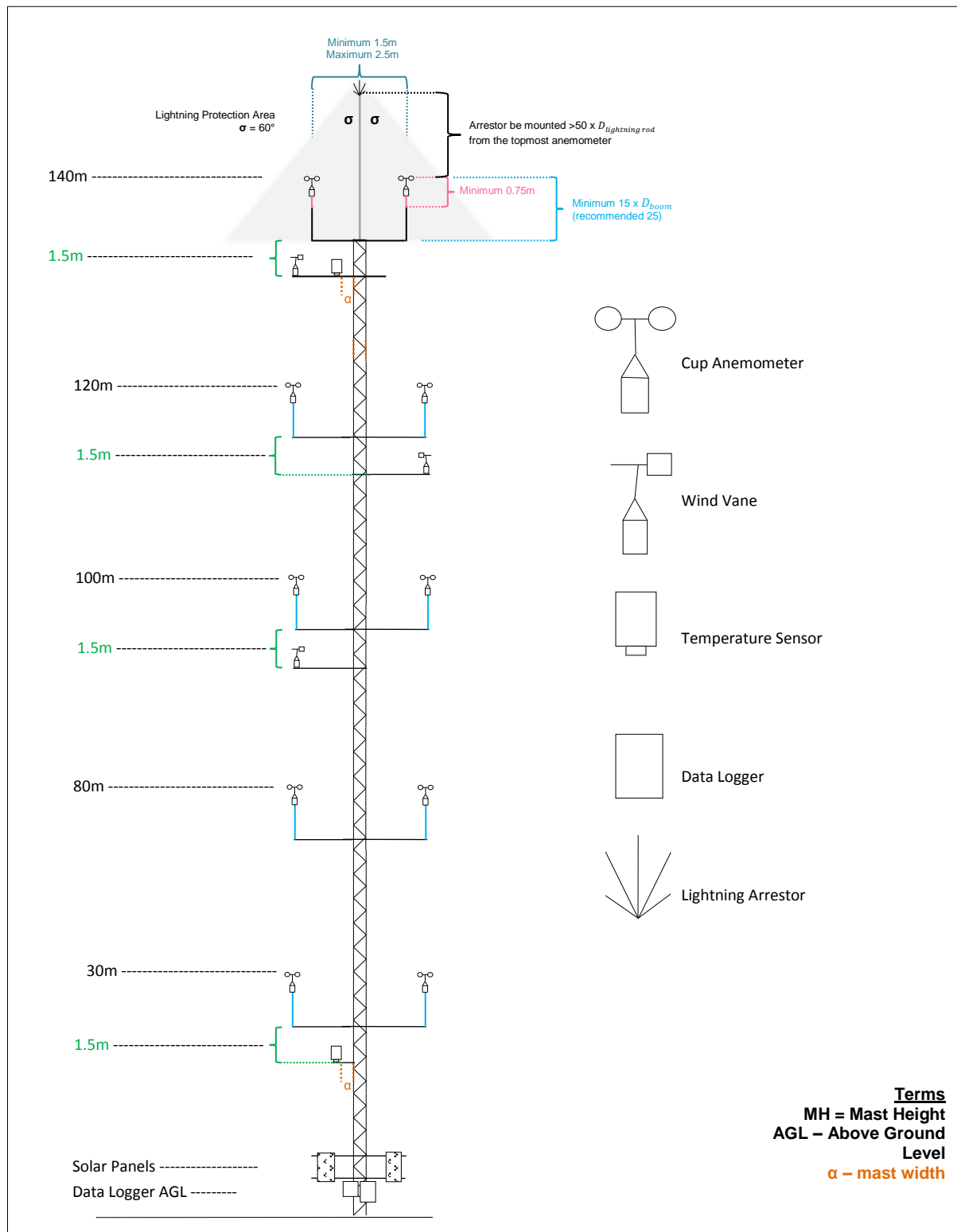


Map 3 – Mast 2 location.



Map 4 – Mast 3 location.

2 Optimal Met Mast Set Up



Note that the exact heights may need to be adjusted, depending on mast guy configuration and mounting of other tower ancillaries such as lightning conductor and aviation lighting in order to minimise sensor interference.





2.1 Sensors

Channel	Sensor Height (AGL)	Measurement Type	Measured Values	Boom Orientation
1	140 m	Wind Speed	Average, Standard Deviation, Max, Min	45°
2	140 m			225°
3	120m			45°
4	120m			225°
5	100m			45°
6	100m			225°
7	80m			45°
8	80m			225°
9	30m			45°
10	30m			225°
11	137m	Wind Direction		45°
12	118.5m			225°
13	98.5m			45°
14	137m	Temperature		-
15	28.5m			-
16	137m	Humidity	Average, Max, Min	-
17	137m	Pressure		-

Table 2 – Sensors

2.1.1 Recommended Sensors

Based on extensive research on industry practices, the following are recommended in order to obtain the highest quality data.

	Class	Image
Anemometers		
Thies First Class Advanced	0.9A 3.0B	
Windsensor (Riso) P2546A-OPR	1.32A 3.71B	
Wind Vanes		
Vector W200P		
Thies First Class	N/A	

Temperature

Temperature Sensor:
Vaisala HMP 155



Data Logger

Ease of Use:

- **Nomad 3 Data Logger**
- **NRG SYMPHONIEPLUS®3 DATA LOGGER**



N/A



**Advanced: CR1000
Campbell Scientific Data
Logger**



Table 3 – Recommended Sensors

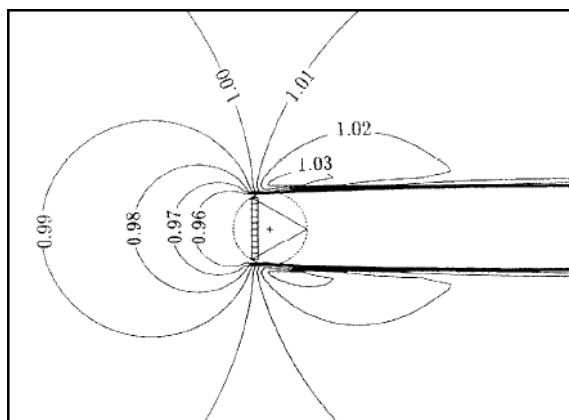
2.2 Booms

All boom suggestions are made with the assumption that a lattice tower is being utilised.

For best sensor readings, the flow distortion should be kept below 0.5%. The following suggestions align with this notion.

Configuration	Recommendation
Length	$5.7 \times D_{\text{mast}}$
Alignment	90° into prevailing wind (so that the total angle between the booms is 180°)
Vertical Pin	Length = $20 \times D_{\text{boom}}$ Width = same as calibration
Vertical distance between sensors	Recommended $20 \times D_{\text{boom}}$ Minimum = 1.5m
Shape	Tubular (Circular)

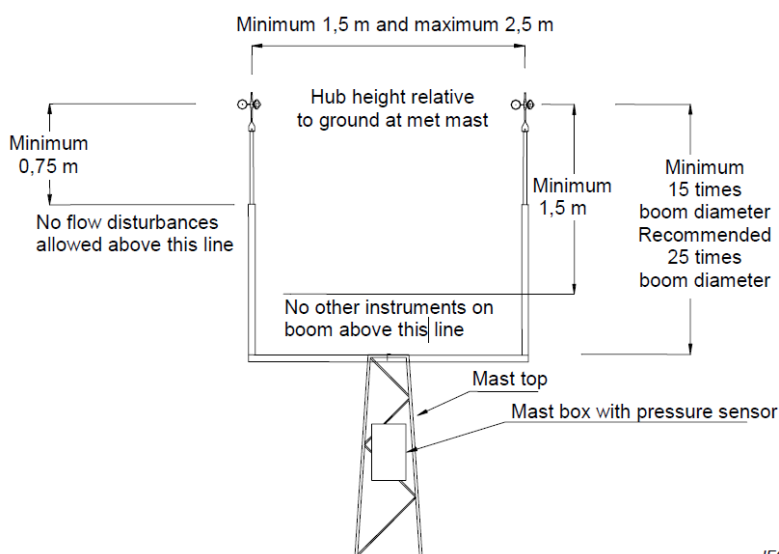
Table 4 – Boom Recommendations



Picture 1: Iso-speed plot of local flow speed around a triangular lattice mast with a C_T of 0.5 normalised by free-field wind speed (IEC 61400 – 12 – 1)

2.3 Top Height Mounting Arrangement

Note only anemometer arrangements.



IEC 2039/05

2.4 Tower Design

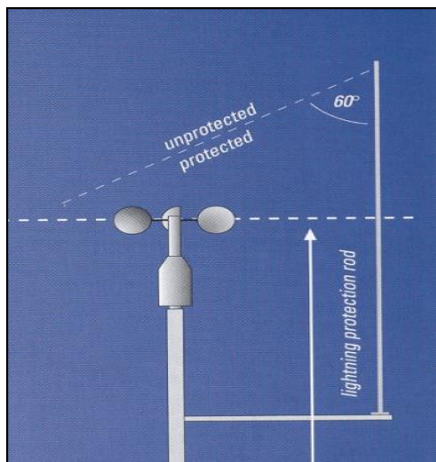
The tower shall meet all relevant local standards. Triangular lattice design should be used.

2.4.1 Tower Ancillaries

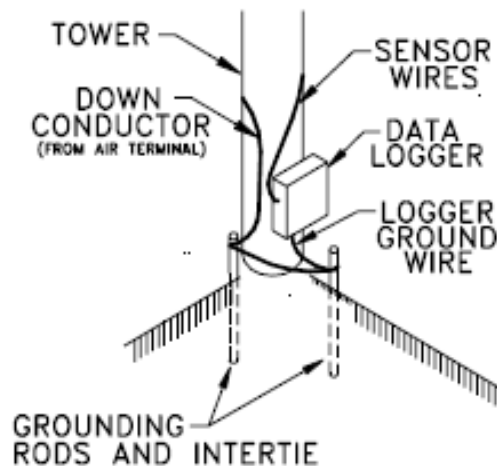
2.4.1.1 Lightning Protection

The tower will be equipped with the manufacturer's lightning protection system. It is important that the system does not interfere with sensor readings. The following recommendations were made based on best industry practices ^[42]:

- A protection umbrella of 60° is assumed.



Left: Lightning Rod



Right: Grounding System

- Arrestor be mounted $>50 \times D_{\text{lightning rod}}$ from the topmost anemometer.
- Orientated in the opposite direction to the expected prevailing wind direction.
- Wiring for the lightning system needs to run on the outside of the tower to encourage the strike to pass not through the sensors.
- Knowing the soil resistivity will assist in effectively designing the grounding component.
- A single point grounding system (above) is recommended.

There is a standard [IEC 61024-1 Ed. 1.0](#) named [Protection of structures against lightning - Part 1: General principles](#) that should be considered when setting up a lightning protection system.

2.4.1.2 Local Aviation Authority

General recommendations for meteorological masts less than 150m but greater than 45m above ground level based on the ICAO standard are as follows:

- Markings and medium-intensity obstacle lights are required.
- Markings are red/orange and white alternating bands unless the colours merge into the background.
- The bands alternate an odd number of times to ensure the darker colour is at the top and bottom.
- Band width is 1/7 height.
- One light will be located as close to the top as possible, without interfering with sensor readings.
- Top light will be an L-864 (Flashing Red Light) configured to flash at a rate of 30fpm ($\pm 3\text{fpm}$).
- At $\frac{1}{2}$ HH, two or more L-810 (Single Light) configured to flash in sync with the top light, will be installed
 - The height of the mast determines how many levels of lights and what types they are. For more information see Appendix 6 in the ICAO Annex 14 Volume 1 or appendix 35 in this document.
- Flags shall be used when spherical or paint is technically impractical.

A list of countries with their respective aviation authority can be found at:

https://www.faa.gov/aircraft/air_cert/international/bilateral_agreements/link_intl_sites/civil_avi_auth/

A more expansive list is located at: https://en.wikipedia.org/wiki/List_of_civil_aviation_authorities

2.4.1.3 Fencing and Anti-Theft

Fencing around the tower and guys wires may have to be considered to protect the equipment or avoid accidents. But fencing of anchors and the tower base mainly is a protection against grazing animals. Guy wires should be painted for high visibility with a reflective material.

More important is an anti-theft and vandalism device is to be installed at the mast at about at least 3m above ground level (but below the control panel!) to avoid potential data interference or loss.

Options: Galvanized Panel fencing | Grassland Fencing | Chain Mesh Fencing